

# Genesee County Economic Development Center

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APR 17 2019

# Application for Financial Assistance

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Note: All of the above forms must be completed in their entirety to be considered an acceptable application.

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I. Applicant Information

APR 17 2019  
CK#23354  
\$250.00

<b>Company Name:</b> M V Cher & Clark LLC Cedar Street Sales & Rental			
<b>Address:</b> 111 Cedar Street			
<b>City / Town:</b> Batavia	<b>State:</b> NY	<b>Zip:</b> 14020	
<b>Phone No.:</b> 585-343-4899		<b>Fax No.:</b> 585-343-4907	
<b>Email Address:</b> guyjr@cedarstreetonline.com		<b>Fed. Id. No.:</b> 161519492	

SIC Code (<https://www.osha.gov/pls/imis/sicsearch.html>): \_\_\_\_\_

NAICS Code (<http://www.naics.com>): \_\_\_\_\_

Contact Person: Guy Clark

Principal Owners / Officers / Directors: (list owners with 15% or more in equity holdings with percentage of ownership)

Guy Clark member

Name & Title \_\_\_\_\_

Name & Title \_\_\_\_\_

Corporate Structure (attach schematic if Applicant is a subsidiary or otherwise affiliated with another entity)

Form of Entity:  C Corp     S Corp     Partnership     LLC  
 LLP     Sole Proprietorship     Not for Profit

If a corporation, partnership, limited liability company/partnership or Not for Profit:

Date of establishment 1993, place of organization Batavia NY, and, if a foreign organization, is the Applicant authorized to do business in the State of New York?

<b>Applicant's Counsel:</b> Ben Bonarigo			
<b>Address:</b> 18 Ellicott St.			
<b>City / Town:</b> Batavia	<b>State:</b> NY	<b>Zip:</b> 14020	
<b>Phone No.:</b> 344-1994		<b>Fax No.:</b>	

## II. Project Information

A) Detailed Description of Project (Including type, location and purpose of project:

*we have outgrown our current facilities & want to build an extension of our store on a lot that we own across the street we would add a 6000 sq. ft. building & also landscape the rest of the lot.*

is any of the information contained herein considered trade secrets?  Yes  No

Note: AGENCY will protect said trade secret information herein but reserves the right to disclose certain summary information from this application (i.e. total facility s/f, total capital investment, total job creation, top level wage information et. Al.) As a part of its project summary disclosure related to the AGENCY board's public vote required and resulting from said application.

B) Location of Project / Project Address: 52 Cedar Street Bartavia NY 14020  
Address Town Zip

C) Current Assessed Value of Property \$ \_\_\_\_\_ Tax Map # \_\_\_\_\_  
(not required if project is for equipment purchases only)

D) Square footage of existing building 6 S/F Square footage of new / renovated build 6000 S/F  
 Total Square Footage 6 S/F

### Estimated Project Costs / Project Capital Investment

<b>Building Cost</b>	
\$ <u>145,000</u>	(new building construction cost or existing building expansion construction cost)
<b>Land and Building</b>	
\$ <u>5,000</u>	(purchase value of land and/or building including engineering, architect and blue print fees)
<b>Production Equipment</b>	
\$ <u>0</u>	(\$ value of production equipment that is not sales taxable)
<b>Other Equipment</b>	
\$ <u>10,000</u>	(\$ value of production equipment that is sales taxable, like furniture/fixtures, computers, lockers, etc.)
<b>Other</b>	
\$ <u>5,000</u>	describe: <u>site work including water, sewer &amp; elec.</u>
<b>Total Capital Investment:</b>	
\$ <u>165,000</u>	(sum all lines above)

### Estimated Public and Private Sources of Funds for Project Costs:

<b>Grants:</b> \$ _____	<b>Bonds:</b> \$ _____
<b>GCEDC/GGLDC Loan Fund:</b> \$ _____	<b>Bank Financing:</b> \$ _____
<b>Other:</b> \$ _____	<b>Equity:</b> \$ _____
<b>Total of all sources of funds:</b> \$ _____	
<b>Mortgage Amount on this Project:</b> \$ _____	
<b>Total Amount Financed:</b> \$ _____	
Describe: _____	
<b>Estimated % of costs financed from public sector (grants, bonds, and GCEDC/GGLDC loan fund divided by total of all sources of funds:</b> _____	

# A) Project Employment Information

**\*\*Note:** Please use full-time equivalents, approximately **Two** part-time is equivalent to **One** full-time. (Attach additional sheets as necessary)

E1) Current number of full time equivalent employees (prior to project): ~~10~~ 10

E2) Estimate how many full time/ part-time jobs will be **retained** as a result of this Project over the next three years:

Full-Time (FT) 8 Part-Time (PT) 4 \*\* Total Full Time Equivalents (FTE) 10

\*Please note retained jobs should be based upon the most recent NYS MN-45 quarterly report, a copy of which should be attached to this application.

E3) What is the average estimated (annual) salary range of jobs to be retained \$ 35,000 to \$ 55,000  
(at current market rates)

Job Title	Number of Jobs	Estimated salary/range	Hours per week

E4) Estimate how many full time/ part-time jobs will be **created** as a result of this Project over the next three years:

Full Time (FT) 2 Part-Time (PT) 1 \*\* Total Full Time Equivalents (FTE) 2.5

E5) What is the planned average hourly wage for the FTE jobs to be created \$ 15

E6) What is the average estimated annual salary range of FTE jobs to be created \$ 35,000 to \$ 45,000

E7) What is the planned average annual benefits paid in \$\$ per FTE job to be created \$ 10,000

E8) Is the Project Commercial in nature (Sales Tax Generating for Community)? YES or NO YES

E9) If yes, what is the estimated annual total Sales Tax to be generated from this project at full build-out?  
\$ 16,000

E10) If Any, expected commencement date for Project (month/year) 8/19

E11) Expected timeframe for Project to achieve completion (in months) 1 month

E12) Estimate of the number of residents of the Labor Market Area (as defined in N.Y. GML Sec. 859-a(4)(f)) to fill created jobs \_\_\_\_\_

## B) Representations by the Applicant

- Is the company delinquent in the payment of any state or municipal property taxes?  Yes  No
- Is the company delinquent in the payment of any income tax obligation?  Yes  No
- Is the company delinquent in the payment of any loans?  Yes  No
- Is the company currently in default on any of its loans?  Yes  No
- Are there currently any unsatisfied judgments against the company?  Yes  No
- Are there currently any unsatisfied judgments against any of the company's principals?  Yes  No
- Has the company ever filed for bankruptcy?  Yes  No
- Have any of the company's principals ever personally filed for bankruptcy, or in any way sought protection from creditors?  Yes  No

If the answer to any of the questions above is "Yes," please provide additional comments in the space below and on additional pages if necessary.

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### ***Please initial each item where indicated***

**Job Listings** - In accordance with Section 858-b(2) of the New York General Municipal Law, the Applicant understands and agrees that, if the Project receives any Financial Assistance from the AGENCY, except as otherwise provided by collective bargaining agreements, new employment opportunities created as a result of the Project will be listed with the New York State Department of Labor Community Services Division (the "DOL") and with the administrative entity (collectively with the DOL, the "JTPA Entities") of the service delivery area created by the federal job training partnership act (Public Law 97-300) ("JPTA") in which the Project is located.

EW **Applicant's Initials**

**First Consideration for Employment** - In accordance with Section 858-b(2) of the New York General Municipal Law, the Applicant understands and agrees that, if the Project receives any Financial Assistance from the AGENCY, except as otherwise provided by collective bargaining agreements, where practicable, the Applicant will first consider persons eligible to participate in JTPA programs who shall be referred by the JPTA Entities for new employment opportunities created as a result of the Project.

EW **Applicant's Initials**

**Annual Sales Tax Filings** - In accordance with Section 874(8) of the General Municipal Law, the Applicant understands and agrees that, if the Project receives any sales tax exemptions as part of the Financial Assistance from the AGENCY, in accordance with Section 874(8) of the General Municipal Law, the Applicant agrees to file, or cause to be filed, with the New York State Department of Taxation and Finance, an Annual Report of Sales and Use Tax Exemptions (Form ST-340) by the last day of February following applicable calendar year (with a copy to the AGENCY), describing the value of all sales tax exemptions claimed by the Applicant and all consultants or subcontractors retained by the Applicant.

EW **Applicant's Initials**

**Employment Reports** - The Applicant understands and agrees that, if the Project receives any Financial Assistance from the AGENCY, the Applicant agrees to file, or cause to be filed, with the AGENCY, on quarterly basis, copies of form NYS-45-MN Quarterly Combined Withholding, Wage Reporting, and Unemployment Insurance Returns filed with the Department of Labor applicable to the project site.

EW **Applicant's Initials**

**AGENCY Reports** - The Applicant understands and agrees that, if the Project receives any Financial Assistance from the AGENCY, the Applicant agrees to file, or cause to be filed with the AGENCY, a certified Annual Project Report (to be mailed to the Applicant) due by the last day of February following applicable calendar year, for a period of time not to exceed 4 years post financial assistance.

EW **Applicant's Initials**

**Absence of Conflicts of Interest** - The Applicant has received from the AGENCY a list of the members, officers, and employees of the AGENCY. No member, officers or employee of the AGENCY has an interest, whether direct or indirect, in any transaction contemplated by this Application, except as hereinafter described:

*(W)* **Applicant's Initials**

**Recapture Provision/Uniform Tax Exemption Policy ("UTEP")** – Applicant hereby understands and agrees, in accordance with Section 875(3) of the New York General Municipal Law, that any New York State and local sales and use tax exemption claimed by Applicant and approved by the Agency in connection with the Project may be subject to recapture by the Agency under such terms and conditions as will be set forth in the Agent Agreement to be entered into by and between the Agency and the Applicant. Recapture provisions would be invoked under Section 875(3) of the New York General Municipal Law if it is determined that: (i) the Company is not entitled to the Sales and Use Tax Exemption Benefits; (ii) the Sales and Use Tax Exemption Benefits are in excess of the amounts authorized by the Agency to be taken by the Company; (iii) the Sales and Use Tax Exemption Benefits are for property or services not authorized by the Agency as part of the Project; or (iv) the Sales and Use Tax Exemption Benefits are taken in cases where the Company fails to comply with a material term or condition to use property or services in the manner approved by the Agency in connection with the Project. The Applicant further represents and warrants that the information contained in this Application, including without limitation information regarding the amount of New York State and local sales and use tax exemption benefits, is true, accurate and complete. The Applicant further represents and warrants that the information contained in this Application, including without limitation information regarding the amount of New York State and local sales and use tax exemption benefits, is true, accurate and complete, to the best of the Applicant's knowledge. Applicant hereby further represents and warrants that it has reviewed the Agency's UTEP and understands and agrees that under such UTEP, the Agency has the right to recapture all or a portion of any financial assistance provided by the Agency to the Company, including, but not limited to, sales and mortgage tax exemptions and real property tax abatements upon the occurrence of certain events as set forth in the UTEP.

*(W)* **Applicant's Initials**

**No Violation of Section 862(1) of the General Municipal Law** – In accordance with Section 862(1) of the General Municipal Law, the applicant understands and agrees that the Project will not (a) result in the removal of an industrial or manufacturing plant of the Project occupant from one area of the state to another area of the state, or (b) result in the abandonment of one or more plant facilities of the Project occupant located within the state. If the Project will result in (a) or (b), the applicant agrees that the requested financial assistance is necessary to prevent the Project from relocating out of the state, or is reasonably necessary to preserve the Project occupant's competitive position in its respective industry.

*(W)* **Applicant's Initials**

**Financial Assistance Necessary** – The applicant represents that the project would not likely occur without the financial assistance provided by the AGENCY.

*(W)* **Applicant's Initials**


**Compliance** – The applicant receiving financial assistance is in substantial compliance with applicable local, state and federal tax, worker protection and environmental laws, rules and regulations.

*(W)* **Applicant's Initials**

### C) Signatory Page

The Applicant and the individual executing this Application on behalf of the Applicant acknowledge that:

- A) The AGENCY will rely on the representations made herein when acting on this Application and hereby represent that the statements made herein do not contain any untrue statement of a material fact and do not omit to state a material fact necessary to make the statements contained herein not misleading.
- B) Failure of the Applicant to file appropriate Sales Tax and Employment reports will result in the revocation of tax benefits and require repayment of benefits previously claimed.
- C) If the Applicant submits knowingly false or knowingly misleading information this may lead to the immediate termination of any financial assistance and the reimbursement of an amount equal to all or part of any tax exemptions claimed by reason of the AGENCY's involvement in the Project and may also lead to potential criminal penalties and/or civil liabilities for perjury.

  
\_\_\_\_\_  
(Applicant Signature)  
*Guy Clark*  
\_\_\_\_\_  
(Print Name)  
*member*  
\_\_\_\_\_  
Title  
*Cedar Street Sales & Rental*  
\_\_\_\_\_  
Company Name

**This Application should be submitted along with the items listed in Exhibit A to:**

Genesee County Economic Development Center  
99 MedTech Drive, Suite 106  
Batavia, New York 14020  
(Attn: President & Chief Executive Officer)

## **D) Hold Harmless Agreement**



Applicant hereby releases Genesee County Economic Development Center and the members, officers, servants, agents and employees thereof (the "AGENCY") from, agrees that the AGENCY shall not be liable for and agrees to indemnify, defend and hold the AGENCY harmless from and against any and all liability arising from or expense incurred by (A) the AGENCY's examination and processing of, and action pursuant to or upon, the attached Application, regardless of whether or not the Application or the Project described therein or the tax exemptions and other assistance requested therein are favorably acted upon by the AGENCY, (B) the AGENCY's acquisition, construction and/or installation of the Project described therein and (C) any further action taken by the AGENCY with respect to the Project; including without limiting the generality of the foregoing, all causes of action and attorneys' fees and any other expenses incurred in defending any suits or actions which may arise as a result of any of the foregoing. If, for any reason, the Applicant fails to conclude or consummate necessary negotiations, or fails, within a reasonable or specified period of time, to take reasonable, proper or requested action, or withdraws, abandons, cancels or neglects the Application, or if the AGENCY or the Applicant are unable to reach final agreement with the respect to the Project, then, and in the event, upon presentation of an invoice itemizing the same, the Applicant shall pay to the AGENCY, its agents or assigns, all costs incurred by the AGENCY in the processing of the Application, including attorneys' fees, if any.

Applicant hereby understands and agrees, in accordance with Section 875(3) of the New York General Municipal Law, that any New York State and local sales and use tax exemption claimed by Applicant and approved by the Agency in connection with the Project may be subject to recapture by the Agency under such terms and conditions as will be set forth in the agreements to be entered into by and between the Agency and the Applicant. The Applicant further represents and warrants that the information contained in this Application, including without limitation information regarding the amount of New York State and local sales and use tax exemption benefits, is true, accurate and complete.

[Signature]  
(Applicant Signature)

Guy Clark  
(Print Name)

Member  
Title

Cedar Street Sales & Rental  
Company Name

Sworn to before me this

17<sup>th</sup> day of April, 2019

Lana R. Flint  
Notary Public

Lana R. Flint  
Notary Public State of New York  
Qualified in Genesee Co.  
My commission expires 3/21/2022

### EXHIBIT A

#### INSURANCE COVERAGE

Effective February 4, 2016

1. Requirements. The Company shall maintain or cause to be maintained insurance against such risks and for such amounts as are customarily insured against by businesses of like size and type paying, as the same become due and payable, all premiums in respect thereto, including, but not necessarily limited to:

(a) (i) Insurance against loss or damage by fire, lightning and other casualties, with a uniform standard extended coverage endorsement, such insurance to be in an amount not less than the full replacement value of the Project, exclusive of excavations and foundations, as determined by a recognized appraiser or insurer selected by the Company or (ii) as an alternative to the above requirements (including the requirement of periodic appraisal), the Company may insure the Project under a blanket insurance policy or policies covering not only the Project but other properties as well.

(b) Workers' compensation insurance, disability benefits insurance, and each other form of insurance which the Agency or the Company is required by law to provide, covering loss resulting from injury, sickness, disability or death of employees of the Company who are located at or assigned to the Project.

(c) Insurance against loss or losses from liabilities imposed by law or assumed in any written contract and arising from personal injury and death or damage to the property of others caused by any accident or occurrence, with limits of not less than \$1,000,000 per accident or occurrence on account of personal injury, including death resulting there from, and \$1,000,000 per accident or occurrence on account of damage to the property of others, excluding liability imposed upon the Company by any applicable workers' compensation law; and a blanket excess liability policy in the amount not less than \$3,000,000, protecting the Company against any loss or liability or damage for personal injury or property damage.

2. Additional Provisions Respecting Insurance. (a) **All insurance required shall name the Agency as a named insured and all other insurance required by Section 4 hereof shall name the Agency as an additional insured.** All insurance shall be procured and maintained in financially sound and generally recognized responsible insurance companies selected by the Company and authorized to write such insurance in the State. Such insurance may be written with deductible amounts comparable to those on similar policies carried by other companies engaged in businesses similar in size, character and other respects to those in which the Company is engaged. All policies evidencing such insurance shall provide for (i) payment of the losses of the Company and the Agency as their respective interest may appear, and (ii) at least thirty (30) days' prior written notice of the cancellation thereof to the Company and the Agency.

(b) All such policies of insurance, or a certificate or certificates of the insurers that such insurance is in force and effect, shall be deposited with the Agency on the date hereof. Prior to expiration of any such policy, the Company shall furnish the Agency evidence that the policy has been renewed or replaced or is no longer required by this Agent Agreement.

## Exhibit B

To be completed / calculated by AGENCY

Effective February 4, 2016

Type of Project:  Attraction  Expansion  Retention  
 Infrastructure  Workforce  
Offerings:  SLB  Bond  Grant  Consulting

**Estimated Financial Assistance to be provided via AGENCY participation – subject to AGENCY Board Approval**

*1) Estimated Sales Tax Exemption (8%)	\$ <u>8,160</u>
2) Estimated Mortgage Tax Exemption (1%)	\$ <u>1,650</u>
3) Estimated Property Tax Abatement	\$ <u>27,212</u>
4) Estimated Total Tax Savings (1+2+3):	\$ <u>37,022</u>
5) Estimated Tax-Exempt Interest Cost Savings (via Tax-Exempt Bond)	\$ _____
6) Grant Type or name of grant ( _____ )	\$ _____
7) Estimated total Company Savings (4+5+6):	\$ <u>37,022</u>
8) Benefited Project Amount (the capital investment directly related to the benefits received)	\$ <u>165,000</u>
9) Bond Amount	\$ _____
10) Mortgage Amount	\$ <u>165,000</u>
11) GCEDC/GGLDC Revolving Loan Fund	\$ _____
12) Loan Secured Source of loan ( _____ )	\$ _____
13) Total Amount Financed / Loan Funds Secured	\$ <u>165,000</u>
	(Sum of lines 9-12)

**Proposed PILOT structure:** BP2 structure - Retail  
First 4 years at 50%, next 5 years at 75%, last year 90%

\* Estimated Value of Goods and Services to be exempt from sales and use tax as a result of the Agency's involvement in the Project. PLEASE NOTE: These amounts will be verified and there is a potential for a recapture of sales tax exemptions (see "Recapture Provision" on page 7).

\$ 102,000 (to be used on the NYS ST-60)

**Fees to be Paid by the Applicant:**

Genesee County Economic Development Center \$ 2,063 (Per the attached Pricing & Fee Policy) the AGENCY will collect a 1.25 % fee. The AGENCY will collect its participation fee at the time of closing, based upon the company provided realistic capital investment costs of this project stated in this application. (Should the actual costs exceed those estimated, an additional fee will apply.) In addition, the Applicant will reimburse the Agency for any direct expenses incurred in connection with this Project, including costs related to holding a public hearing.

The AGENCY will collect an annual administration fee. Projects with a capital investment of less than \$5 million will be charged a \$500 annual fee for each year of benefits provided. For projects with a capital investment of \$5 million or greater, there will be a \$1,000 annual fee charged.

Harris Beach, LLP \$ 4,000 (Estimated fee for legal services required in connection with the financial assistance provided by the Genesee County Economic Development Center). **Applicant may be required to pay additional out-of-pocket expenses and applicable filing or recording fees.**

**\*\*Financial incentives are public information and will be released to the media upon board approval\*\***

\_\_\_\_\_  
(Applicant Signature)

\_\_\_\_\_  
(Print Name)

\_\_\_\_\_  
Title

\_\_\_\_\_  
Company Name

## Exhibit C

617.20

*Short Environmental Assessment Form*

Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Effective February 4, 2016

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <p style="text-align: center; font-size: 1.2em;">Cedar Street Sales &amp; Rental expansion project</p>			
Project Location (describe, and attach a location map): <p style="text-align: center; font-size: 1.2em;">52 Cedar Street</p>			
Brief Description of Proposed Action: <p style="text-align: center; font-size: 1.2em;">Construct a 6000 sq. ft. Building to store &amp; sell outdoor power equipment.</p>			
Name of Applicant or Sponsor: <p style="font-size: 1.2em;">Guy Clark Cedar Street Sales &amp; Rental</p>		Telephone: 585-343-4899	
Address: <p style="font-size: 1.2em;">111 Cedar Street</p>		E-Mail: guyjr@cedarstreetonline.com	
City/PO: <p style="font-size: 1.2em;">Batavia</p>		State: <p style="font-size: 1.2em;">NY</p>	Zip Code: <p style="font-size: 1.2em;">14020</p>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO  YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO  YES
<p style="font-size: 1.2em;">Building permit</p>			  X
3.a. Total acreage of the site of the proposed action? <u>1.0</u> acres			
b. Total acreage to be physically disturbed? <u>1.0</u> acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <u>1.0</u> acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input checked="" type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO		YES <input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	<input checked="" type="checkbox"/>	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	<input checked="" type="checkbox"/>	YES
b. Are public transportation service(s) available at or near the site of the proposed action?			<input checked="" type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	<input checked="" type="checkbox"/>	YES
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO		YES <input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO		YES <input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	<input checked="" type="checkbox"/>	YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	<input checked="" type="checkbox"/>	YES
16. Is the project site located in the 100 year flood plain?	NO	<input checked="" type="checkbox"/>	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
Former city dump		✓
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Smy O/arr</u> Date: <u>4/16/19</u> Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing:		
a. public / private water supplies?	✓	
b. public / private wastewater treatment utilities?	✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer





Genesee County Economic Development Center Pricing & Fee Policy

Effective Date: October 1, 2015

**Financial Assistance - Tax Savings\*\*\***

Offering / Activity	Fees	Comments
<p><b>Lease - Lease Back (SLB) or similar</b></p> <p>Including any / all of the following:</p> <ol style="list-style-type: none"> <li>1. PILOT</li> <li>2. Sales Tax Exemption</li> <li>3. Mortgage Tax Exemption</li> </ol> <p><b>Minimum fee of \$2,000</b></p>	<p><b>\$250 Non-Refundable Application Fee</b></p> <p><b>Direct Sales Project:</b> 1.25% of total capital investment/benefited project amount</p> <p><b>Administration fee:</b> For projects with a capital investment of less than \$5 million, there will be a \$500 annual fee charged for each year of benefits provided. For projects with a capital investment of \$5 million or greater, there will be a \$1,000 annual fee charged.</p> <p><b>Legal Fees:</b> Legal transaction fees associated with a project will be estimated to each client on a case by case basis.</p>	<p>Eligible to businesses with Capital Investments of \$50,000 or greater which meet the criteria as set forth in the GCEDC's Uniform Tax Exemption Policy.</p>
<p><b>Sales Tax Exemption Only</b></p> <p><b>Minimum fee of \$1,000</b></p>	<p><b>\$250 Non-Refundable Application Fee</b></p> <p><b>Direct Sales Project:</b> 1.25% of total capital investment/benefited project amount</p> <p><b>Administration fee:</b> There will be a \$500 annual fee charged.</p> <p><b>Legal Fees:</b> Legal transaction fees associated with a project will be estimated to each client on a case by case basis.</p>	<p>Eligible to businesses with Capital Investments of \$50,000 or greater which meet the criteria as set forth in the GCEDC's Uniform Tax Exemption Policy.</p>
<p><b>Mortgage Tax Exemption Only</b></p> <p><b>Minimum fee of \$2,000</b></p>	<p><b>\$250 Non-Refundable Application Fee</b></p> <p><b>GCEDC Fees:</b> 0.4% of amount financed</p> <p><b>Legal Fees:</b> Legal transaction fees associated with a project will be estimated to each client on a case by case basis.</p>	<p>Eligible to businesses with Capital Investments of \$50,000 or greater which meet the criteria as set forth in the GCEDC's Uniform Tax Exemption Policy.</p>

## Financing\*\*\*

Offering / Activity	Fees	Comments
<b>Bond: Taxable or Tax Exempt</b>  1. Financing transaction only 2. Financing included with SLB	<b>\$250 Non-Refundable Application Fee</b>  <b>Financing Transaction Only</b> <u>Direct Sales Project:</u> 1.25% of total bond amount  Applicant must pay NYS Bond Issuance cost plus legal fees.  <u>Legal Fees:</u> Legal transaction fees associated with a project will be estimated to each client on a case by case basis.	Range varies based on GCEDC involvement, term of bond (equip only vs. real property) and spread between taxable and tax exempt yield curves. The shorter the term and / or lower the spread between yield curves requires lower fees to remain competitive vs. commercial lending sources.

\*\*\* NOTE – If a company wants to have a lease-leaseback transaction with a tax exempt financing component the total fee charged would be 1.75% of Capital investment.

Any deviation from the above listed fee schedule must be explained in writing to the Board by the CEO prior to (or simultaneously with) the approval of the Company's application and must be approved by the Board.

## Financing/ Grants/ Consulting

Offering / Activity	Fees	Comments
Grants	<b>\$250 Non-Refundable Application Fee</b>  <u>Program Administration Fees:</u> Allowable program administration and delivery fees associated with the grant will be collected by the GCEDC.  <u>Legal Fees:</u> Legal transaction fees associated with a project will be estimated to each client on a case by case basis.	Generally established and parameters set by Grantor. Negotiations, based on EDC involvement, occur on occasion.  Project fee negotiated between grantee and GCEDC will be agreed to in a memorandum of understanding.

# ATTACHMENT TO APPLICATION FOR FINANCIAL ASSISTANCE

## Local Labor Workforce Certification

Project applicants (the "Company"), with projected / committed capital investment for facility construction of greater than or equal to \$5,000,000, as a condition to receiving Financial Assistance (including a sales tax exemption, mortgage recording tax exemption, real property tax abatement, and/or bond proceeds) from the Genesee County Industrial Development Agency d/b/a Genesee County Economic Development Center (the "Agency"), will be required to utilize qualified Local Labor, as defined below, for all projects involving the construction, expansion, equipping, demolition and/or remediation of new, existing, expanded or renovated facilities (collectively, the "Project Site").

### Local Labor Defined

Local Labor is defined as individuals residing in the following Counties: Genesee, Orleans, Monroe, Wyoming, Livingston, Wayne, Ontario, Seneca, Yates, Niagara, Erie, Chautauqua, Cattaraugus and Allegany (collectively, the "Local Labor Area").

### Local Labor Requirement

At least 90% of the total number of Project employees, excluding construction project management, of the general contractor, subcontractor, or subcontractor to a subcontractor (collectively, the "Workers") working on the Project Site must reside within the Local Labor Area. Companies do not have to be local companies as defined herein, but must employ local Workers residing within the Local Labor Area to qualify under the 90% local labor criteria.

It is understood that at certain times, Workers residing within the Local Labor Area may not be available with respect to a Project. Under this condition, the Company is required to contact the Agency to request a waiver of the Local Labor Requirement (the "Local Labor Waiver Request") based on the following circumstances: (i) warranty issues related to installation of specialized equipment or materials whereby the manufacturer requires installation by only approved installers; (ii) specialized construction for which qualified Local Labor Area Workers are not available; (iii) documented lack of Workers meeting the Local Labor Area requirement; or (iv) cost differentials in bids whereby use of local labor significantly increases the construction cost of the project. Prior to the granting of said waiver, the lowest bidding contractor which bid said construction project using local labor would have the right of first refusal to bid and match the lowest bid as a remedy to ensure compliance with this policy. Comprehensive documentation and justification will be required including documented evidence and verification by GCEDC staff or agents that the "right of first refusal" remedy has been affected unsuccessfully.

The Agency shall evaluate the Local Labor Waiver Request and make its determination related thereto based upon the supporting documentation received with such waiver request.

### Local Labor Reporting Requirement

Companies authorized to receive Financial Assistance from the Agency will be required to file or cause to be filed a Local Labor Utilization Report (the "Report") on such form as made available by the Agency, and as directed by the Agency, which will identify, for each Worker, the city, town, or village and associated zip code that each such Worker is domiciled in. The Report shall be submitted to the Agency or its designated agents as follows: (i) immediately prior to commencement of construction activities; and (ii) on or by the next following quarterly dates of January 1, April 1, July 1, and October 1 and each quarterly date thereafter through the construction completion date.

The Agency, or its designated agents, shall have the right, during normal business hours, to examine and copy the applicable books and records of the Company and to perform spot checks of all Workers at the Project site to verify compliance with the Local Labor Requirement throughout the construction period.

### Enforcement

If Agency staff determines that: (i) the Local Labor Requirement is not being met; or (ii) upon use of its reasonable discretion, discovers or becomes aware of a compliance issue related to the Local Labor Requirement, then written notice delivered by Certified Mail of said Local Labor Requirement violation (the "Notice of Violation") shall be provided to the Company.

The Company shall have 10 business days thereafter to either:

- (i) provide written confirmation to the Agency indicating that it has cured the violation and is now in compliance with the Local Labor Requirement;
- (ii) submit the Local Labor Waiver Request as described above; or
- (iii) confirm in writing its inability to meet the Local Labor Requirement.

If the Company does not respond to the Agency's Notice of Violation, or if the Company confirms its inability to meet the Local Labor Requirement then the Agency shall immediately terminate any and all Financial Assistance being provided to the Project in accordance with the terms of the underlying agreements between the Agency and the Company with respect to the Project. If a Local Labor Waiver Request is submitted and the Agency declines to issue the requester waiver, then the Company shall have 10 business days after receipt of the notice of the waiver request denial to provide written confirmation to the Agency indicating that it has cured the violation and is now in compliance with the Local Labor Requirement. If the Agency does not receive such confirmation, the Agency shall then immediately terminate any and all Financial Assistance being provided to the Project in accordance with the terms of the underlying agreements between the Agency and the Company with respect to the Project.

The foregoing terms have been read, reviewed and understood by the Company and all appropriate personnel. The undersigned agrees and understands that the information contained herein must be transmitted and conveyed in a timely fashion to all applicable subcontractors, suppliers and materialmen. Furthermore, the undersigned realized and understands that failure to abide by the terms herein could result in the Agency revoking all or any portion of Financial Assistance, whether already received or to be received by the Company, as it deems reasonable in its sole discretion for any violation hereof.

**COMPANY CERTIFICATION**

By: \_\_\_\_\_  
Name: \_\_\_\_\_

Title: \_\_\_\_\_

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Notary Public

SEND OR DELIVER TO:  
GENESSEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404

DEPARTMENT USE ONLY:  
GCDP Referral # C-03-BAT-5-19



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

RECEIVED  
Genesee County  
Dept. of Planning  
4/29/2019

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

**2. APPLICANT INFORMATION**

Board(s) PDC and ZBA  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345-6347 Ext. \_\_\_\_\_

Name Guy Clark  
Address 111 Cedar St.  
City, State, Zip Batavia, NY 14020  
Phone (585) 343-4899 Ext. \_\_\_\_\_ Email \_\_\_\_\_

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> Area Variance    | <input type="checkbox"/> Zoning Map Change         | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance                | <input type="checkbox"/> Zoning Text Amendments    | <input type="checkbox"/> Preliminary          |
| <input type="checkbox"/> Special Use Permit          | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final                |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other: _____              |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

A. Full Address 52 Cedar St.  
B. Nearest intersecting road Florence  
C. Tax Map Parcel Number 84.020-1-9  
D. Total area of the property .98 acres Area of property to be disturbed \_\_\_\_\_  
E. Present zoning district(s) I-2

**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_  
B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
BMC 190-39 B (a) Parking  
C. Please describe the nature of this request Approval to construct a 6,000 sq.' building for retails sales and storage

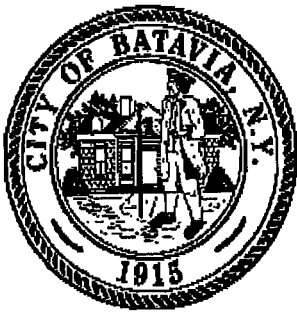
**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments    | <input type="checkbox"/> New or updated comprehensive plan     |
| <input checked="" type="checkbox"/> Site plan         | <input type="checkbox"/> Location map or tax maps      | <input checked="" type="checkbox"/> Photos                     |
| <input type="checkbox"/> Subdivision plot plans       | <input checked="" type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input checked="" type="checkbox"/> SEQR forms        | <input type="checkbox"/> Agricultural data statement   |  |

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.  
Email to [planning@co.genesec.ny.us](mailto:planning@co.genesec.ny.us)

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345-6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com



*City of Batavia*  
**Department of Public Works**  
**Bureau of Inspections**

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 4/29/19

Re: 52 Cedar St.  
Tax Parcel No. 84.020-1-9

Zoning Use District: I-2

The applicant, Guy Clark (owner), has filed an application to construct a 6,000 square foot pole style building on this undeveloped parcel. The uses will include an area of approximately 900 square feet for retail sales and 5,100 square feet for storage and service operations related to the Cedar Street Sales and Rentals business.

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the boundary of a County or State park or other recreation area.

**City Planning and Development Committee-** Pursuant to section 190-44 C. (1)(a) of the zoning ordinance, the Planning and Development Committee shall perform a site plan review of applications for new buildings that increase the lot coverage by more than 1,300 square feet.

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) **BMC 190-39 B(a)** Parking shall be located behind or to the side of the principal building. The plan indicates parking across the front of the building.

The PDC will conduct the uncoordinated review of SEQR.



CITY OF BATAVIA  
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: 19-05  
Hearing Date/Time: \_\_\_\_\_

APPLICANT: Guy Clark  
Name  
111 Cedar St. Street Address  
Batavia NY City State  
343-4899 E-Mail Address Phone  
14020 Fax Zip

STATUS:  Owner  Agent for Owner  Contractor

OWNER: same  
Name  
Street Address  
City State Zip  
E-Mail Address  
Phone Fax

LOCATION OF PROPERTY: 52 Cedar St.

DETAILED DESCRIPTION OF REQUEST: Approval for parking at the front of the new building.

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

[Signature] Applicant's Signature 4/29/19 Date  
[Signature] Owner's Signature 4/29/19 Date

To be Filled out by Zoning Officer

TAX PARCEL: 84.020-1-9 ZONING DISTRICT: I-2 FLOOD PLAIN: C  
TYPE OF APPEAL:  Area Variance  Use Variance  Interpretation  Decision of Planning Committee  
FEE:  \$50 (One or Two Family Use)  \$100 (All other Uses)

Provision(s) of the Zoning Ordinance Appealed: BMC 190-39 B(a) Parking shall be located behind or to the side of the principal building.

**PAID**  
APR 30 2019  
CITY OF BATAVIA  
CLERK-TREASURER

## Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

- 1. Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.  
*The requested four parking spaces to be located in front of the building will be located approximately 100' from road and should not have negative impact on neighborhood.*
- 2. Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance.  
*Due to site configuration, we are limited on where we can locate parking and still maintain room for truck deliveries.*
- 3. Substantiality.** The requested area variance is not substantial.  
*Parking is for only four spaces, and is located 100' from road and behind fence.*
- 4. Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.  
*The four parking spaces located in front of building should not have any impact on environment or neighborhood.*
- 5. Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title.  
*Requested change is result of property configuration, which limits alternatives.*

  
Applicant's Signature

*4/29/19*  
Date



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Cedar Street Sales Retail/storage Building			
Project Location (describe, and attach a location map): 157 Cedar Street, City of Batavia, location map provided in submitted plans			
Brief Description of Proposed Action: Proposal is to construct 60ft x 100ft pole barn type building for use as retail sales and inventory storage. Project will include concrete loading dock. Majority of building will not be conditioned, only restroom is proposed to be conditioned at this time.			
Name of Applicant or Sponsor: Andrew Schmeler		Telephone: (585) 297 - 3552	
Address: 11142 Alexander Road		E-Mail: ads60@verizon.net	
City/PO: Attica		State: NY	Zip Code: 14011
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____			
10. Will the proposed action connect to an existing public/private water supply?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If No, describe method for providing potable water: _____			
11. Will the proposed action connect to existing wastewater utilities?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If No, describe method for providing wastewater treatment: _____			
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline    Forest    Agricultural/grasslands    Early mid-successional

Wetland    Urban    Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?  
If Yes,

a. Will storm water discharges flow to adjacent properties?

	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?  
If Yes, briefly describe:

	NO	YES
Roof runoff will be directed to drainage swale located west of property	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?  
If Yes, explain the purpose and size of the impoundment:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?  
If Yes, describe:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?  
If Yes, describe:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

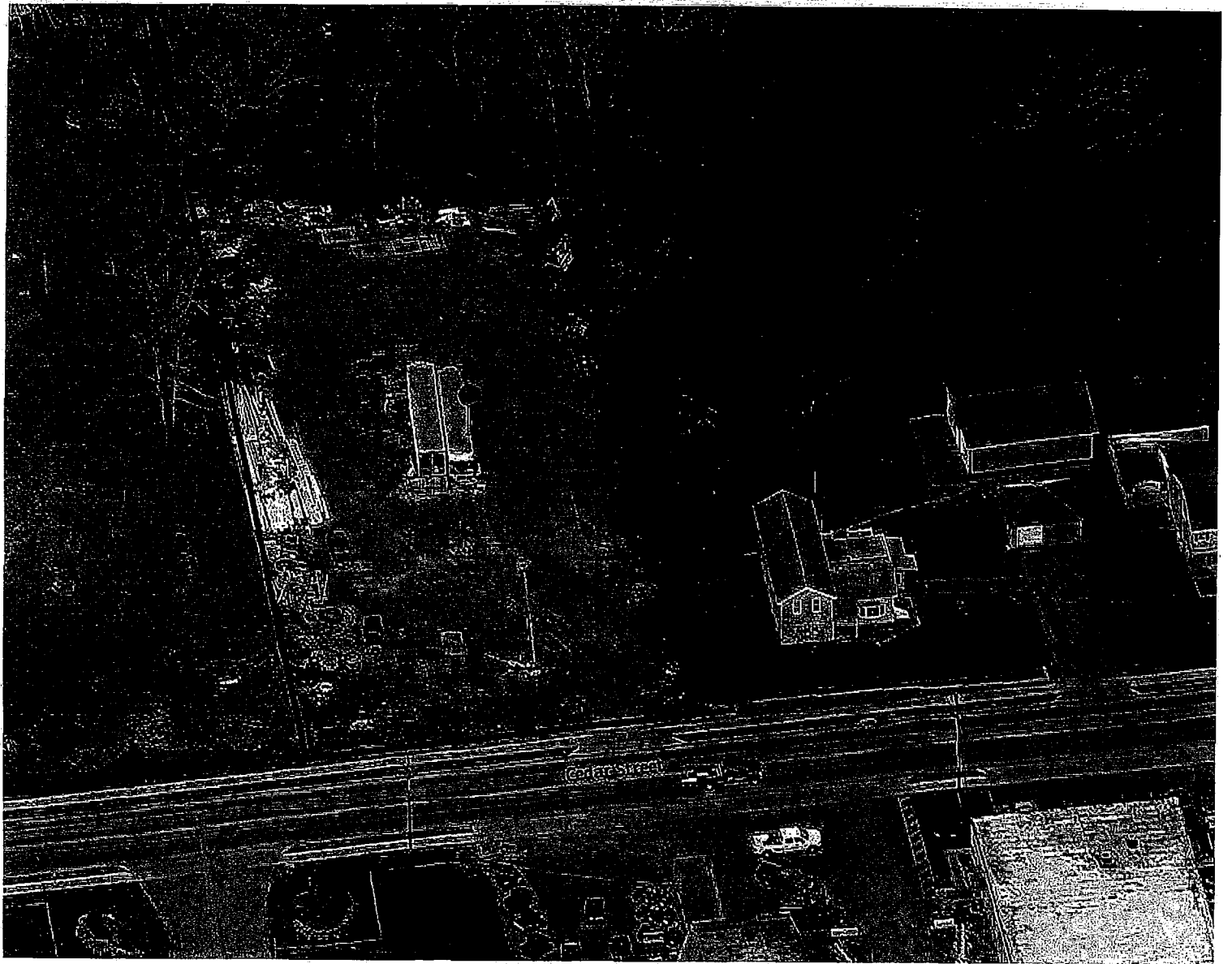
**I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor/name: Andreas Schneider Date: 4/26/19

Signature: [Signature] Title: Eng.

**PRINT FORM**



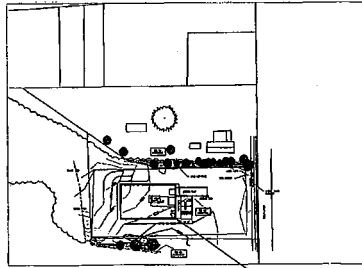


# CEDAR STREET SALES AND RENTAL

52. ~~111~~ CEDAR SREET , BATAVIA, NY

## RETAIL/STORAGE BUILDING

SHEET INDEX							
DWG. NO.	DESCRIPTION	SHEET NO.	REVISIONS				
			<table border="1"> <tr> <td>DATE</td> <td>BY</td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	DATE	BY		
DATE	BY						
T-1	TITLE SHEET	1 OF 16					
M-1	CODE COMPLIANCE	2 OF 16					
M-2	GENERAL NOTES	3 OF 16					
C-1	EXISTING SITE LAYOUT	4 OF 16					
C-2	PROPOSED SITE LAYOUT	5 OF 16					
C-3	SITE DETAILS	6 OF 16					
S-1	BUILDING LAYOUT	7 OF 16					
S-2	EAST/WEST WALL FRAMING	8 OF 16					
S-3	ELEVATION/SECTION	9 OF 16					
S-4	STRUCTURAL DETAILS	10 OF 16					
S-5	ROOF FRAMING PLAN	11 OF 16					
F-1	FOUNDATION LAYOUT/DETAILS	12 OF 16					
F-2	LOADING DOCK LAYOUT	13 OF 16					
E-1	ELECTRICAL PLAN	14 OF 16					
E-2	ELECTRICAL DETAILS	15 OF 16					
M-1	MECH / PLUMBING PLAN	16 OF 16					



PROJECT LOCATION

**CONTACT INFORMATION:**

OWNER:  
CEDAR STREET SALES  
GUY CLARK  
PH: (585) 409-0395

GENERAL CONTRACTOR:  
KELLY CONSTRUCTION, LLC  
DAN KELLY  
PH: (716) 560-0331

BUILDING INSPECTOR:  
CITY OF BATAVIA  
DOUG RANDALL  
PH: (585) 343-1729

ENGINEER:  
ANDREW SCHMIEDER, PE  
PH: (585) 287-3552

**SUMMARY OF WORK:**

THE FOLLOWING REPRESENTS THE BASIC SCOPE OF WORK:

- CONSTRUCT 60FT X 100FT POLE BARN TYPE WOOD STRUCTURE TO BE USED FOR RETAIL AND MATERIAL STORAGE. ONLY BATHROOM AREA WILL BE CONDITIONED. ELECTRIC SERVICE TO BE PROVIDED TO STRUCTURE ALONG WITH FIRE ALARM NOTIFICATION DEVICES.

**CERTIFICATIONS**

- TO THE BEST OF MY KNOWLEDGE AND UNDERSTANDING THE DRAWINGS CONVEYED ON THESE CONSTRUCTION DOCUMENTS COMPLY WITH THE BUILDING CODE OF NEW YORK STATE, 2015 EDITION, AND ALL PERTINENT ORDINANCES.
- TO THE BEST OF MY KNOWLEDGE AND UNDERSTANDING THE DRAWINGS CONVEYED ON THESE CONSTRUCTION DOCUMENTS COMPLY WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, 2015 EDITION, INCLUDING ADDITIONAL INSULATION PROVIDED BY OTHERS.

*Andrew Schmieder* 4/28/19  
SEAL

**PLANS ISSUED FOR:**

<input checked="" type="checkbox"/>	PRELIMINARY	DATE: 01/12/19
<input type="checkbox"/>	SCHEMATIC	DATE:
<input type="checkbox"/>	PERMITS	DATE: 01/27/19
<input type="checkbox"/>	PERMITS	DATE:
<input type="checkbox"/>	AS-BUILTS	DATE:
<input type="checkbox"/>	CONSTRUCTION	DATE:
PROJECT MANAGER: ANDREW SCHMIEDER		

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- Dig With Care

NO.	DATE	BY	REVISION



**ANDREW SCHMIEDER, PE**  
11182 ALEXANDER ROAD, BATAVIA, NY  
(585) 287-3552

PROJECT TITLE:  
COVER SHEET  
STORAGE/RETAIL BUILDING  
11182 ALEXANDER ROAD, BATAVIA, NY  
OWNER:  
CEDAR STREET SALES  
111 CEDAR STREET, BATAVIA, NY

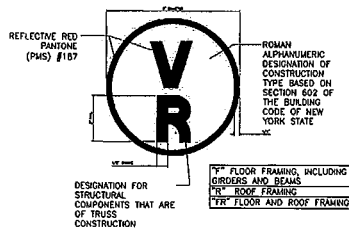
PROJECT NO:	003-2019	PROJ. REG. NO.:	A05
DATE:	4-3-19	DATE REC'D:	A05
SCALE:	AS NOTED	CHECK REC'D:	A05
DRAWING NO.:	T-1	SHEET NO.:	1 OF 16

STORAGE BUILDING CODE COMPLIANCE									
ITEM	SECTION	REQ/ALLOWD	PROPOSED	ITEM	SECTION	REQ/ALLOWD	PROPOSED		
<b>CLASSIFICATION &amp; DESIGN</b>									
OCCUPANCY GROUP	CHAPTER 3	U	U	BUILDING REQUIREMENTS	TABLE 1604.5	U	U		
ACCESSORY USE AREAS	SECTION 302.2	< 510	< 510	MAXIMUM FLOOR LIVE LOAD	TABLE 1607.1	VDENL	VDENL		
SPECIAL USE & OCCUPANCY	CHAPTER 4	NA	NA	ROOF LIVE LOAD	SECTION 1607.12	20 PSF	20 PSF		
BUILDING AREA	CHAPTER 5	NA	NA	GROUND SNOW LOAD	FIGURE 1608.1	50 PSF	50 PSF		
SPRINKLER INCREASE	SECTION 506	NA	NA	ROOF SNOW LOAD (PS)	SECTION 1608.1	40 PSF	40 PSF		
FRAMING INCREASE	SECTION 509	NA	NA	SNOW LOAD IMP. FACTOR	ASCE-7	1.0	1.0		
WINDING HEIGHT	TABLE 504.3	65'	25'	SNOW EXPOSURE FACTOR	ASCE-7	0.9	0.9		
WIND AREA	SECTION 504.2	3,000	6,000	TURBULENCE FACTOR	ASCE-7	1.2	1.2		
NUMBER OF STOREYS	TABLE 504.4	1	1	BASIC WIND SPEED	FIGURE 1609	115 MPH	115 MPH		
CONSTRUCTION TYPE	CHAPTER 6	ANY	TYPE VB	EQUivalent WIND SPEED	TABLE 1609.3.1	89 MPH	89 MPH		
FIRE RESISTANCE RATING	TABLE 602	0	0	FLOOD LOAD	SECTION 1612	NA	NA		
<b>HAZARD SAFETY FACTORS</b>									
FIRE WALLS	SECTION 706	NA	NA	SEISMIC DESIGN CATEGORY	ASCE 7	B	B		
FIRE BARRIERS	SECTION 706	NA	NA	SEISMIC MAPPING FACTORS					
FIRE PARTITIONS	SECTION 706/1004.3.1	NA	NA	S <sub>1</sub>	FIGURE 1613 (1)		0.204		
AUTOMATIC SPRINKLER SYSTEM	SECTION 903.2.9	NA	NA	S <sub>2</sub>	FIGURE 1613 (2)		0.062		
<b>FIRE RESISTANCE RATINGS</b>									
FIRE EXHAUSTERS	SECTION 906	3	3	STRUCTURAL FRAME	TABLE 601	0	0		
FIRE & SMOKE DETECTION	SECTION 907	NR	Y	INTERIOR BEARING WALLS	TABLE 601	0	0		
FIRE ALARM SYSTEM	SECTION 907	NR	Y	EXTERIOR BEARING WALLS	TABLE 601	0	0		
				INTERIOR NON-BEARING WALLS	TABLE 602	0	0		
				EXTERIOR NON-BEARING WALLS	TABLE 602	0	0		
<b>WEIGHT OF LOADS</b>									
TOTAL OCCUPANT LOAD	TABLE 1004.1.1	20	2	FLOOR CONSTRUCTION	TABLE 601	0	0		
MIN. TIC LOCES WIDTH-SHAH	SECTION 1011	NA	NA	ROOF CONSTRUCTION	TABLE 601	0	0		
MIN. TIC LOCES WIDTH-OPEN	SECTION 1005.1	0.2x12 = 4"	36"	FIRE WALLS	TABLE 706.4	NA	NA		
ACCESSIBLE WEIGHS OF EGRESS	SECTION 1007	YES - 2	YES - 1	VERTICAL EXT. ENCLOSURE	SECTION 1009	NA	NA		
MIN. EGRESS DOOR WIDTH	SECTION 1010	32" CLEAR	32" CLEAR	EXIT PASSAGEWAY	SECTION 1011	NA	NA		
MIN. EGRESS STAR WIDTH	SECTION 1011	NA	NA	PROHIBITED USE AREAS	TABLE 508.2	NA	NA		
MIN. EGRESS RAMP WIDTH	SECTION 1012	NA	NA	OCCUPANCY SEPARATION	TABLE 508.3.3	NA	NA		
MIN. EXIT ACCESS TRAVEL	TABLE 1017	200'	60'	CORRIDORS	SECTION 1017	NA	NA		
MIN. EGRESS CORRIDOR WIDTH	SECTION 1020	NA	NA	ACCESSIBILITY					
MIN. NUMBER OF EXITS	SECTION 1022	2	2	VERTICAL ACCESS	SECTION 1104.4	NA	NA		
				PARKING	TABLE 1105.1	4	4		

NA - NOT APPLICABLE // NC - NON-COMBUSTIBLE // C - COMBUSTIBLE // NR - NOT REQUIRED

ENERGY CONSERVATION CODE			
THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS, R-VALUE METHOD			
TABLE 603.1.3			
LABEL	DESCRIPTION	VALUE	COMMENTS
1	CLIMATE ZONE	5A	
2	ATTIC AND OTHER	R-38	
3	WALLS ABOVE GRADE-WOOD FRAMED AND OTHER	R-13 + R-3.0CI OR R-20	
4	WALLS BELOW GRADE	R-7.5CI	
5	FLOORS-JOIST FRAMING	R-30	
6	SLAB ON GRADE - UNHEATED SLAB	R-10 FOR 24" BELOW	

(PRESCRIPTIVE VALUES HAVE BEEN USED TO MEET THE 2015 IECC REQUIREMENTS) ONLY THE BATHROOM AREA IS TO BE CONDITIONED



DATE	DESCRIPTION



ANDREW SCHMEDER, PE  
11142 ALEXANDER ROAD, ATTICA, NY  
(607) 837-0322

PROJECT NO.	009-2019
DATE	1-3-19
SCALE	AS NOTED
DRAWING NO.	N-1
SHEET NO.	2

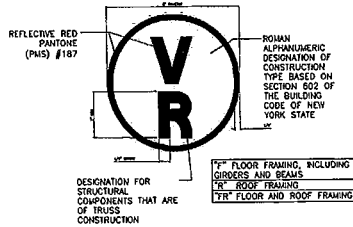
PROJECT NO.	009-2019	PROJ. NO.	ASS
DATE	1-3-19	DATE	ASS
SCALE	AS NOTED	SCALE	ASS
DRAWING NO.	N-1	DRAWING NO.	ASS
SHEET NO.	2	SHEET NO.	16

STORAGE BUILDING CODE COMPLIANCE									
ITEM	SECTION	REQD/ALLOWD	PROPOSED	ITEM	SECTION	REQD/ALLOWD	PROPOSED		
<b>CLASSIFICATION &amp; OCCUPANCY</b>									
OCCUPANCY GROUP	CHAPTER 3	M	M	BLDG CLASS/SEISMIC USE GRP	TABLE 1604.5	II	II		
ACCESSORY USE AREAS	SECTION 302.2	< 310	< 310	MAXIMUM FLOOR LINE LOAD	TABLE 1607.12	20 PSF	20 PSF		
SPECIAL USE & OCCUPANCY	CHAPTER 4	NA/NA/NA	NA	ROOF LIVE LOAD	FIGURE 1608.1	50 PSF	50 PSF		
<b>BUILDING AREA</b>									
SPRINKLER INCREASE	SECTION 506	NA	NA	GROUND SNOW LOAD	FIGURE 1608.1	50 PSF	50 PSF		
FRONTAGE INCREASE	SECTION 504	NA	NA	ROOF SNOW LOAD (PS)	SECTION 1608.1	40 PSF	40 PSF		
BUILDING HEIGHT	TABLE 504.3	65'	24'	SNOW LOAD IMP. FACTOR	ASSE-7	1.0	1.0		
ALLOW AREA	SECTION 504.2	8,000	8,000	SNOW EXPOSURE FACTOR	ASSE-7	0.9	0.9		
NUMBER OF STORES	TABLE 504.4	1	1	THERMAL FACTOR FACTOR	ASSE-7	1.2	1.2		
<b>CONSTRUCTION TYPE</b>									
FIRE RESISTANCE RATING	TABLE 602	0	0	BASIC WIND SPEED	FIGURE 1609	115 MPH	115 MPH		
<b>FIRE SAFETY FEATURES</b>									
FIRE WALLS	SECTION 706	NA	NA	EQUIVALENT WIND SPEED	TABLE 1609.3.1	80 MPH	89 MPH		
FIRE BARRIERS	SECTION 708	NA	NA	MAX. WIND LOAD	TABLE 1609.5	18 PSF	18 PSF		
FIRE PARTITIONS	SECTION 704/704.3.2	NA	NA	FLOOD LOAD	SECTION 1612	NA	NA		
AUTOMATIC SPRINKLER SYSTEM	SECTION 903.2.0	NA	NA	SITE CLASS		ASSE 7	D	D	
<b>MEANS OF EGRESS</b>									
FIRE EXTINGUISHERS	NFPA SECTION 905	3	3	SEISMIC DESIGN CATEGORY		ASSE 7	B	B	
FIRE & SMOKE DETECTION	SECTION 907	NR	Y	SEISMIC HAZARD FACTORS		FIGURE 1613 (1)	0.204		
FIRE ALARM SYSTEM	SECTION 907	NR	Y	SEISMIC HAZARD FACTORS		FIGURE 1613 (2)	0.082		
<b>MEANS OF EGRESS</b>									
TOTAL OCCUPANT LOAD	TABLE 1004.1.1	20	2	FIRE RESISTANCE RATING		TABLE 601	0	0	
MIN. TL. EGRESS WIDTH-STAIR	SECTION 1011	NA	NA	STRUCTURAL FRAME		TABLE 601	0	0	
MIN. TL. EGRESS WIDTH-DOOR	SECTION 1005.1	0.2(12 = 4")	36"	INTERIOR BEARING WALLS		TABLE 601	0	0	
ACCESSIBLE MEANS OF EGRESS	SECTION 1007	YES - 2	YES - 1	EXTERIOR BEARING WALLS		TABLE 601	0	0	
MIN. EGRESS DOOR WIDTH	SECTION 1010	32" CLEAR	36" CLEAR	INTERIOR NON-BEARING WALLS		TABLE 601	0	0	
MIN. EGRESS STAIR WIDTH	SECTION 1011	NA	NA	EXTERIOR NON-BEARING WALLS		TABLE 601	0	0	
MIN. EGRESS RAMP WIDTH	SECTION 1012	NA	NA	FLOOR CONSTRUCTION		TABLE 601	0	0	
MAX. EXIT ACCESS TRAVEL	TABLE 1017	200'	60'	ROOF CONSTRUCTION		TABLE 601	0	0	
MIN. EGRESS CORRIDOR WIDTH	SECTION 1009	NA	NA	FIRE WALLS		TABLE 704.4	NA	NA	
MIN. NUMBER OF EXITS	SECTION 1002	2	2	VERTICAL EXIT ENCLOSURE		SECTION 1000	NA	NA	
				EXIT PASSAGEWAY		SECTION 1001	NA	NA	
				INCIDENTAL USE AREAS		TABLE 508.2	N/A	N/A	
				OCCUPANCY SEPARATION		TABLE 508.3.3	NA	NA	
				CORRIDORS		SECTION 1017	NA	NA	
				ACCESSIBLE					
				VERTICAL ACCESS		SECTION 1104.4	NA	NA	
				PARKING		TABLE 1106.1	4	4	

NA - NOT APPLICABLE // NC - NON-COMBUSTIBLE // C - COMBUSTIBLE // NR - NOT REQUIRED

ENERGY CONSERVATION CODE			
THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS, R-VALUE METHOD			
TABLE 602.1.3			
LABEL	DESCRIPTION	VALUE	COMMENTS
1	CLIMATE ZONE	5A	
2	ATTIC AND OTHER	R-30	
3	WALLS ABOVE GRADE-WOOD FRAMED JAMB. OTHER	R-13 + R-3.00 OR R-20	
4	WALLS BELOW GRADE	R-7.50	
5	FLOORS-JOIST FRAMING	R-30	
6	SLAB ON GRADE - UNHEATED SLAB	R-10 FOR 2" BELOW	

(PREScriptive VALUES HAVE BEEN USED TO MEET THE 2015 IECC REQUIREMENTS) ONLY THE BATHROOM AREA IS TO BE CONDITIONED



PROJECT NO.	005-2018
DATE	4-3-19
SCALE	AS NOTED
DRAWN BY	HS
CHECKED BY	ADS
DATE	2-16



ANDREW SCHMEDER, PE  
11142 ALPHEUS ROAD, ARDEN, NY  
(516) 297-5582

CODE COMPLIANCE  
STORAGE/RETAIL BUILDING  
11142 ALPHEUS ROAD, ARDEN, NY  
CEDAR STREET SALES  
100 COLUMBIAN AVENUE, ARDEN, NY

PROJECT NO.	005-2018
DATE	4-3-19
SCALE	AS NOTED
DRAWN BY	HS
CHECKED BY	ADS
DATE	2-16



**GENERAL NOTES**

- STRUCTURE IS TO BE 60FT X 100FT POLE BARN TYPE CONSTRUCTION. BUILDING IS TO BE USED PRIMARILY FOR MATERIAL STORAGE. WITH PERIODIC RETAIL SALES. BUILDING WILL HAVE CONCRETE BATHROOM.
- DESIGN, CONSTRUCTION AND SAFETY SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL SPECIFIC CODES, INCLUDING (BUT NOT LIMITED TO) THE "NEW YORK STATE UNIFORM FIRE PROTECTION AND BUILDING CODE", LATEST EDITION, THE NFPA 701 LIFE SAFETY CODE, LATEST EDITION, AND ALL CITY, STATE AND FEDERAL, AND ANY OTHER CODES GOVERNED BY THE JURISDICTION IN WHICH THIS PROJECT IS BEING CONSTRUCTED.
- THIS CONTRACT REQUIRES COMPLETE, FINISHED WORKMANLIKE PROJECT OF THE AREAS INDICATED BY THE CONTRACT DOCUMENTS, AND SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE, REGARDLESS OF WHETHER OR NOT ALL WORK ON EACH ITEM IS SPECIFICALLY INDICATED ON ANY OTHER PORTION OF THE DRAWINGS AND/OR NOTES.
- CONTRACTOR SHALL OBTAIN FROM OWNER ALL REQUIREMENTS FOR INSTALLATION OF OWNER PROVIDED EQUIPMENT INCLUDING HOISTING DIAGRAMS, INSTALLATION INSTRUCTIONS, ELECTRICAL SCHEMATICS, TEMPERATURES AND DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER, WELL COORDINATED INSTALLATION PRIOR TO ROUGH-IN OF SERVICES, CONFER WITH OWNER EXACT LOCATION OF ALL ITEMS.
- WOOD USED FOR BRACKING OR OTHER PURPOSES ON OR ABOVE THE ROOF DECK WITHIN 2'-0" OF GRADE AND OTHER LOCATIONS OUTSIDE THE BUILDING ENVELOPE WHERE EXPOSED TO THE WEATHER, SHALL BE PRESURE TREATED TYPE.
- FINISHED DOOR OPERINGS SHALL BE NOMINAL 5" FROM FINISHED CORNER OF ROOM AT HINGE SIDE, EXCEPT WHERE DIMENSIONED OTHERWISE. ON THE "LIFT" SIDE OF A DOOR OPERING, THE STROKE SIDE SHALL BE NOMINAL 18" FROM A PERPENDICULAR WALL. ON THE "PUSH" SIDE OF A DOOR OPERING EQUIPPED WITH BOTH A CLOSER AND LATCH, THE STROKE SIDE SHALL BE NOMINAL 12" FROM A PERPENDICULAR WALL.
- REFER TO ELECTRICAL DRAWINGS FOR NOTES RELATED TO ELECTRICAL WORK.

**CONCRETE FOUNDATION NOTES**

- ALL FOOTINGS SHALL BE PLACED ON CLEAN, DRY, LEVEL, UNDISTURBED SOIL. DO NOT PLACE FOUNDATIONS ON FILL MATERIAL UNLESS ORDERED OTHERWISE BY THE OWNER.
- CONTROLLED COMPACTED FILL SHALL BE IMPROVED GRANULAR MATERIAL SIMILAR IN GRADATION TO MYS DOT ITEM 30A02 OR 30A03. FILL SHALL BE SPREAD IN 8" TYPICAL LAYERS AND UNIFORMLY COMPACTED WITH A MIN 4,000 LB ROLLER.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE EXCAVATIONS ARE DRY PRIOR TO PLACING CONCRETE.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE THE REMOVAL AND REPLACEMENT OF ANY UNSUITABLE OR UNSTABLE SOIL GRADE SOILS ENCOUNTERED DURING CONSTRUCTION.
- FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. CONTRACTOR TO NOTIFY PROJECT ENGINEER FOR VERIFICATION OF SOIL CONDITIONS PRIOR TO PLACING FOUNDATIONS.
- 28 DAY COMPRESSIVE STRENGTH FOR ALL FOUNDATION CONCRETE SHALL BE 4000 PSI.
- ALL REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60.
- PROVIDE CONCRETE COVER OVER REINFORCING IN ACCORDANCE WITH THE REQUIREMENTS OF A.C.I. 318-83.
- ALL REINFORCING SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF A.C.I. 318-74.
- ALL SLAB-ON-GRADE SHALL BE PLACED OVER A 6" LAYER OF CLEAN, WELL-DRAINED TYPE 1 & 2 CRUSHED STONE (CRUSHER RUN).
- CONTROL JOINTS SHOWN ON DRAWINGS SHALL BE CUT AS SOON AS SLAB HAS HARDENED SUFFICIENTLY TO SUPPORT MEN AND EQUIPMENT (USUALLY WITHIN 4 TO 12 HOURS).
- ALL WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A185, WITH AN ULTIMATE TENSILE STRENGTH OF 70,000 PSI AND SHALL BE PROVIDED IN SHEETS.
- MESH REINFORCING IN ALL SLAB-ON-GRADE SHALL BE PLACED IN THE UPPER THIRD OF THE SLAB.

**CARPENTRY NOTES**

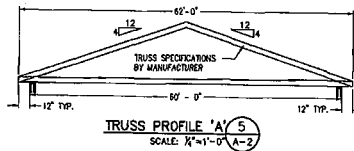
- PROVIDE ALL ROUGH FRAMING AND SHEATHING AS SHOWN INCLUDING ANCHORS. SURFACE LAMBER 4 SIZES TO COMPLY WITH 58-H RECOMMENDATIONS, SUN DRIED TO A MOISTURE CONTENT NOT TO EXCEED 15%.
- LAYOUT, CUT, FIT AND ERECT FRAMING FOR ROUGH CARPENTRY WORK. BRACE, PLUMB AND LEVEL ALL MEMBERS, AND IN TRUE ALIGNMENT, RIGIDLY SECURE IN PLACE WITH SUFFICIENT FASTENERS.
- WOOD TRUSSES SHALL BE DESIGNED TO MEET MYS BUILDING CODE AND SHALL BE MANUFACTURED BY A RECOMMENDED SUPPLIER. SUPPLIER SHALL PROVIDE MYS PE STAMPED WORK DRAWINGS PRIOR TO FABRICATION. INSTALLATION OF THE WOOD TRUSSES SHALL BE IN STRICT COMPLIANCE WITH THE RECOMMENDATIONS OF THE TRUSS SUPPLIER INCLUDING, BUT NOT LIMITED TO BRACING, BRIDGING, AND SCORING.
- MINIMUM STRUCTURAL & FRAMING LUMBER SHALL HAVE A MINIMUM FT-L-1000 PSI, FT-95 PSI, FT-450 PSI, FT-150 PSI & E-1,100,000 PSI.
- ALL LUMBER IN CONTACT WITH GRADE SHALL BE PRESURE TREATED. WOOD PRESERVATIVE SHALL MEET THE MINIMUM RETENTION AS SET FORTH IN THE LATEST AMERICAN WOOD-PRESERVERS ASSOCIATION COMMODITY STANDARDS.
- TIMBER POST TO BE PRESURE TREATED TO A MINIMUM OF 67% ABOVE FINISHED GRADE.

**SITE UTILITY NOTES**

- WATER, SEWER AND ELECTRICAL SERVICES WILL BE PROVIDED TO NEW STRUCTURE.

**GENERAL NOTES**

- ALL SPECIFIED ITEMS TO BE FURNISHED AS NOTED OR APPROVED EQUAL.



**ROOF TRUSS DESIGN LOADS:**

T.C.L.L.: UNBALANCED SNOW = 43 PSF  
 UNBALANCED SNOW = 65 PSF  
 I.C.D.L. = 10 PSF  
 B.C.D.L. = 10 PSF  
 T.C.L.L. = 40 PSF  
 I.C.L.L. = 0 PSF

**GENERAL DESIGN LOAD NOTES**

1. THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATION REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT.

A. 2016 IBC AS ADOPTED BY NEW YORK STATE, DEPARTMENT OF STATE, NEW YORK.

B. "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES", ANSI/ASCE HANDBOOK SOCIETY OF CIVIL ENGINEERS.

2. ADDITIONAL CODES FOR MATERIALS SHALL BE FOUND IN THE APPROPRIATE SECTIONS THAT FOLLOW. SEE THOSE SECTIONS FOR THE APPLICABLE CODES.

**DOOR SCHEDULE**

LABEL	DESCRIPTION	CLASS	PACKAGE	SIZE	FIRE RATING	TYPE	COMMENTS
(D-1)	INSULATED STEEL WITH HALF GLASS	285,342	1	3'-0" x 6'-8"	-	A	
(D-2)	ROLL-UP OVERHEAD DOOR		2	10'-0" x 14'-0"	-	-	
(D-3)	ROLL-UP OVERHEAD DOOR		2	14'-0" x 14'-0"	-	-	INSULATED
(D-4)	SOLID CORE WOOD		3	3'-0" x 6'-8"	-	B	1" UNDERCUT

**NOTES:**

- ALL INTERIOR FRAMES TO BE WOOD FRAME.
- ALL GLASS IN DOORS SHALL BE CLEAR LAMINATED SAFETY GLASS.
- EXTERIOR DOORS SHALL BE TYPICAL INS CONSTRUCTION SERIES STEEL DOOR SYSTEM W/ A FRAME & HOLDING ASSEMBLY WITH 1/2" INSULATED, CLEAR LAMINATED SAFETY GLASS.

**WARRANTY PACKAGE:**

- ENTRY LOCKSET W/ CLOSER, WEATHER PACKAGE.
- PROVIDE MOTOR OPERATORS SUITABLE FOR DOOR SIZES.

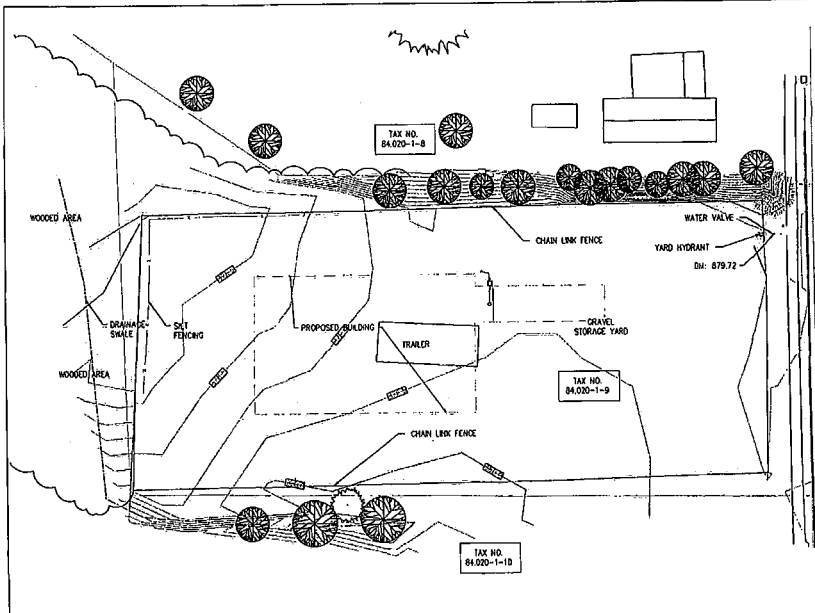
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



**ANDREW SCHMEDLER, P.E.**  
 11142 ALBANY, N.Y.  
 (518) 267-8352

**GENERAL NOTES**  
 STORAGE / RETAIL BUILDING  
 11142 ALBANY, N.Y.  
 CEDAR STREET SALES  
 11142 ALBANY, N.Y.

PROJECT NO: 005-2019  
 DATE: 6-3-19  
 SCALE: AS NOTED  
 SHEET NO: N-2  
 SHEET NO: 3 of 10

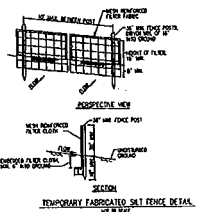
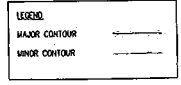


SITE DATA			
PARCEL AREA:	0.88 ACRES		
TAX MAP NO.:	84.000-1-8		
ZONING DISTRICT:	I-2 (INDUSTRIAL)		
PROPOSED USE:	METAL STORAGE		
ZONING REQUIREMENTS	REQUIRED	PROPOSED	
LOT AREA:	40,000 sq ft	41,440 sq ft	
BUILDING HEIGHT:	40 ft	28 ft	
MAXIMUM BUILDING COVERAGE:	20%	18%	
MINIMUM FRONTAGE:	150 ft	125 ft	
MINIMUM FRONT YARD:	20 ft	10 ft	
MINIMUM SIDE YARD:	15 ft	10 ft	
MINIMUM REAR YARD:	35 ft	55 ft	

**EROSION CONTROL NOTES:**  
 THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, CRANES, COMPACTORS AND EXCAVATORS. THE FOLLOWING MEASURES SHALL BE UNDERTAKEN TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ADJACENT LOTS:

- PRIOR TO CROSSING OR ANY EARTH MOVING OPERATION, SLOTTED FENCE OR EROSION CONTROL BARRIERS SHALL BE INSTALLED ACROSS THE SLOPE ON THE DOWNHILL AS THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION. REFER TO DETAILS SHOWN ON EROSION CONTROL PLAN.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER EARTH MOVING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS SHALL BE REVEGETATED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADE.
- ANY EXPOSED SLOPES GREATER THAN 3:1 AND NEWLY CONSTRUCTED DRAINAGE SWALES SHALL BE STABILIZED WITH EROSION CONTROL MATS TO PREVENT EROSION DURING CONSTRUCTION AND TO FACILITATE RE-VEGETATION AFTER TOP SOILING AND SEEDING.
- IN AREAS OF CONSTRUCTION DEMONSTRATING PUMPED DISCHARGE SEDIMENT DEVICES SHALL BE UTILIZED ADJACENT TO THE ACTIVITY. SEDIMENT TRAPS SHALL BE CONSTRUCTED UTILIZING BRICKS, OR OTHER SIMILAR DEVICES THAT DO NOT REQUIRE ADDITIONAL SOIL DISBURSING. ADDITIONAL STABILIZATION PROTECTION SHALL BE PROVIDED BY THE INSTALLATION OF RAY BALE BARRIERS BETWEEN THE SEDIMENT TRAPS AND THE RECEIVING DRAINAGE COURSE.
- NATIVE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SEDIMENT FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES SHALL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. LAYERS OF THE STOCKPILES, STABILIZED DITCHES AND/OR BARRIERS SHALL BE CONSTRUCTED TO DIVERGE SEDIMENT AWAY FROM THE PILES.
- ALL SLOTTED FENCE AND RAY BALE BARRIERS SHALL BE INSPECTED BY THE CONTRACTOR ON A WEEKLY BASIS OR FOLLOWING ANY SIGNIFICANT RAINFALL (1/2" OR MORE) OR SIGNIFICANT ALL DAMAGED EROSION CONTROL DEVICES SHALL BE REPAIRED AND/OR REPLACED IMMEDIATELY. TRAPPED SEDIMENT SHALL BE REMOVED BEFORE IT HAS ACCUMULATED TO ONE-HALF OF THE INSTALLED SLOTTED FENCE OR RAY BALE BARRIER HEIGHT. DEVICES NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION SHALL ALSO BE REPAIRED AND/OR REPLACED AS NECESSARY.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15 OF THE YEAR OF CONSTRUCTION, THEN WITHIN THE NEXT 10 CALENDAR DAYS THESE AREAS SHALL BE GRASS AND SODIFIED. THEN SEEDS TO A MINOR COVER CROP OF 1/2" AT A RATE OF 3 LBS. PER 1,000 SQ. FT. THE FOLLOWING SHALL BE INCORPORATED INTO THE SOIL PRIOR TO THE SEEDING: ORGANIC MATTER AT A RATE OF 100 LBS. PER 1,000 SQ. FT., FOLLOWED BY A 10-10-10 FERTILIZER AT A RATE OF 14 LBS. PER 1,000 SQ. FT. RAY MULCH SHALL BE APPLIED AT A RATE OF 100 LBS. PER 1,000 SQ. FT. FOLLOWING SEEDING. IF THE SECOND CROPPING IS COMPLETED BY OCTOBER 1, THEN ON THAT DAY RAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE TO PROVIDE WATER PROTECTION. IF RAY DOES NOT HAVE ADEQUATE GROWTH BY NOVEMBER 5, THEN ON THAT DATE RAY MULCH SHALL BE APPLIED AT A RATE OF 100 LBS. PER 1,000 SQ. FT. A SIMILAR BARRIER SUCH AS CONCRETE OR RUBB PLUS SHALL BE USED ON RAY MULCH FOR WIND CONTROL. BIODEGRADABLE NETTING SHALL BE INSTALLED ON STEEP SLOPES (3:1 AND STEEPER) AND ON AREAS OF CONCENTRATED FLOWS.
- INTERCEPTED SEDIMENT SHALL BE RETURNED TO THE SITE AND INCORPORATED INTO THE PROJECT AREA.
- SHOULD CONSTRUCTION OCCUR AFTER NOVEMBER 15, ADDITIONAL EROSION CONTROL METHODS SHALL BE IMPLEMENTED. ALL DISTURBED AREAS SHALL BE MINIMIZED AS MUCH AS POSSIBLE. PRIOR TO FREEDING, ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS APPROPRIATE. INSPECTION OF THESE EROSION CONTROL ITEMS SHALL BE CONDUCTED WITH PARTICULAR ATTENTION PAID TO WEATHER PREDICTIONS TO ENSURE THAT THESE MEASURES ARE PROPERLY IN PLACE TO HANDLE LARGE AMOUNTS OF RUNOFF FROM HEAVY RAINS OR THAW.
- FOR EARTHWORK PERFORMED BY TOWN PERSONNEL, EROSION CONTROL MEASURES INSTALLATION AND MAINTENANCE WILL BE RESPONSIBILITY OF TOWN. EROSION CONTROL MEASURES REQUIRED DUE TO CONTRACTOR WORK WILL BE INSTALLED AND MAINTAINED BY THEM.

**A EXISTING SITE LAYOUT**  
 Scale: 1" = 100'



- NOTES:**
- EROSION CONTROL DEVICES ARE TO BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION. THE SLOTTED FENCE SHALL BE INSTALLED AT THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION. REFER TO DETAILS SHOWN ON EROSION CONTROL PLAN.
  - PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER EARTH MOVING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS SHALL BE REVEGETATED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADE.
  - ANY EXPOSED SLOPES GREATER THAN 3:1 AND NEWLY CONSTRUCTED DRAINAGE SWALES SHALL BE STABILIZED WITH EROSION CONTROL MATS TO PREVENT EROSION DURING CONSTRUCTION AND TO FACILITATE RE-VEGETATION AFTER TOP SOILING AND SEEDING.
  - IN AREAS OF CONSTRUCTION DEMONSTRATING PUMPED DISCHARGE SEDIMENT DEVICES SHALL BE UTILIZED ADJACENT TO THE ACTIVITY. SEDIMENT TRAPS SHALL BE CONSTRUCTED UTILIZING BRICKS, OR OTHER SIMILAR DEVICES THAT DO NOT REQUIRE ADDITIONAL SOIL DISBURSING. ADDITIONAL STABILIZATION PROTECTION SHALL BE PROVIDED BY THE INSTALLATION OF RAY BALE BARRIERS BETWEEN THE SEDIMENT TRAPS AND THE RECEIVING DRAINAGE COURSE.
  - NATIVE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SEDIMENT FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES SHALL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. LAYERS OF THE STOCKPILES, STABILIZED DITCHES AND/OR BARRIERS SHALL BE CONSTRUCTED TO DIVERGE SEDIMENT AWAY FROM THE PILES.
  - ALL SLOTTED FENCE AND RAY BALE BARRIERS SHALL BE INSPECTED BY THE CONTRACTOR ON A WEEKLY BASIS OR FOLLOWING ANY SIGNIFICANT RAINFALL (1/2" OR MORE) OR SIGNIFICANT ALL DAMAGED EROSION CONTROL DEVICES SHALL BE REPAIRED AND/OR REPLACED IMMEDIATELY. TRAPPED SEDIMENT SHALL BE REMOVED BEFORE IT HAS ACCUMULATED TO ONE-HALF OF THE INSTALLED SLOTTED FENCE OR RAY BALE BARRIER HEIGHT. DEVICES NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION SHALL ALSO BE REPAIRED AND/OR REPLACED AS NECESSARY.
  - IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15 OF THE YEAR OF CONSTRUCTION, THEN WITHIN THE NEXT 10 CALENDAR DAYS THESE AREAS SHALL BE GRASS AND SODIFIED. THEN SEEDS TO A MINOR COVER CROP OF 1/2" AT A RATE OF 3 LBS. PER 1,000 SQ. FT. THE FOLLOWING SHALL BE INCORPORATED INTO THE SOIL PRIOR TO THE SEEDING: ORGANIC MATTER AT A RATE OF 100 LBS. PER 1,000 SQ. FT., FOLLOWED BY A 10-10-10 FERTILIZER AT A RATE OF 14 LBS. PER 1,000 SQ. FT. RAY MULCH SHALL BE APPLIED AT A RATE OF 100 LBS. PER 1,000 SQ. FT. FOLLOWING SEEDING. IF THE SECOND CROPPING IS COMPLETED BY OCTOBER 1, THEN ON THAT DAY RAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE TO PROVIDE WATER PROTECTION. IF RAY DOES NOT HAVE ADEQUATE GROWTH BY NOVEMBER 5, THEN ON THAT DATE RAY MULCH SHALL BE APPLIED AT A RATE OF 100 LBS. PER 1,000 SQ. FT. A SIMILAR BARRIER SUCH AS CONCRETE OR RUBB PLUS SHALL BE USED ON RAY MULCH FOR WIND CONTROL. BIODEGRADABLE NETTING SHALL BE INSTALLED ON STEEP SLOPES (3:1 AND STEEPER) AND ON AREAS OF CONCENTRATED FLOWS.
  - INTERCEPTED SEDIMENT SHALL BE RETURNED TO THE SITE AND INCORPORATED INTO THE PROJECT AREA.
  - SHOULD CONSTRUCTION OCCUR AFTER NOVEMBER 15, ADDITIONAL EROSION CONTROL METHODS SHALL BE IMPLEMENTED. ALL DISTURBED AREAS SHALL BE MINIMIZED AS MUCH AS POSSIBLE. PRIOR TO FREEDING, ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS APPROPRIATE. INSPECTION OF THESE EROSION CONTROL ITEMS SHALL BE CONDUCTED WITH PARTICULAR ATTENTION PAID TO WEATHER PREDICTIONS TO ENSURE THAT THESE MEASURES ARE PROPERLY IN PLACE TO HANDLE LARGE AMOUNTS OF RUNOFF FROM HEAVY RAINS OR THAW.
  - FOR EARTHWORK PERFORMED BY TOWN PERSONNEL, EROSION CONTROL MEASURES INSTALLATION AND MAINTENANCE WILL BE RESPONSIBILITY OF TOWN. EROSION CONTROL MEASURES REQUIRED DUE TO CONTRACTOR WORK WILL BE INSTALLED AND MAINTAINED BY THEM.

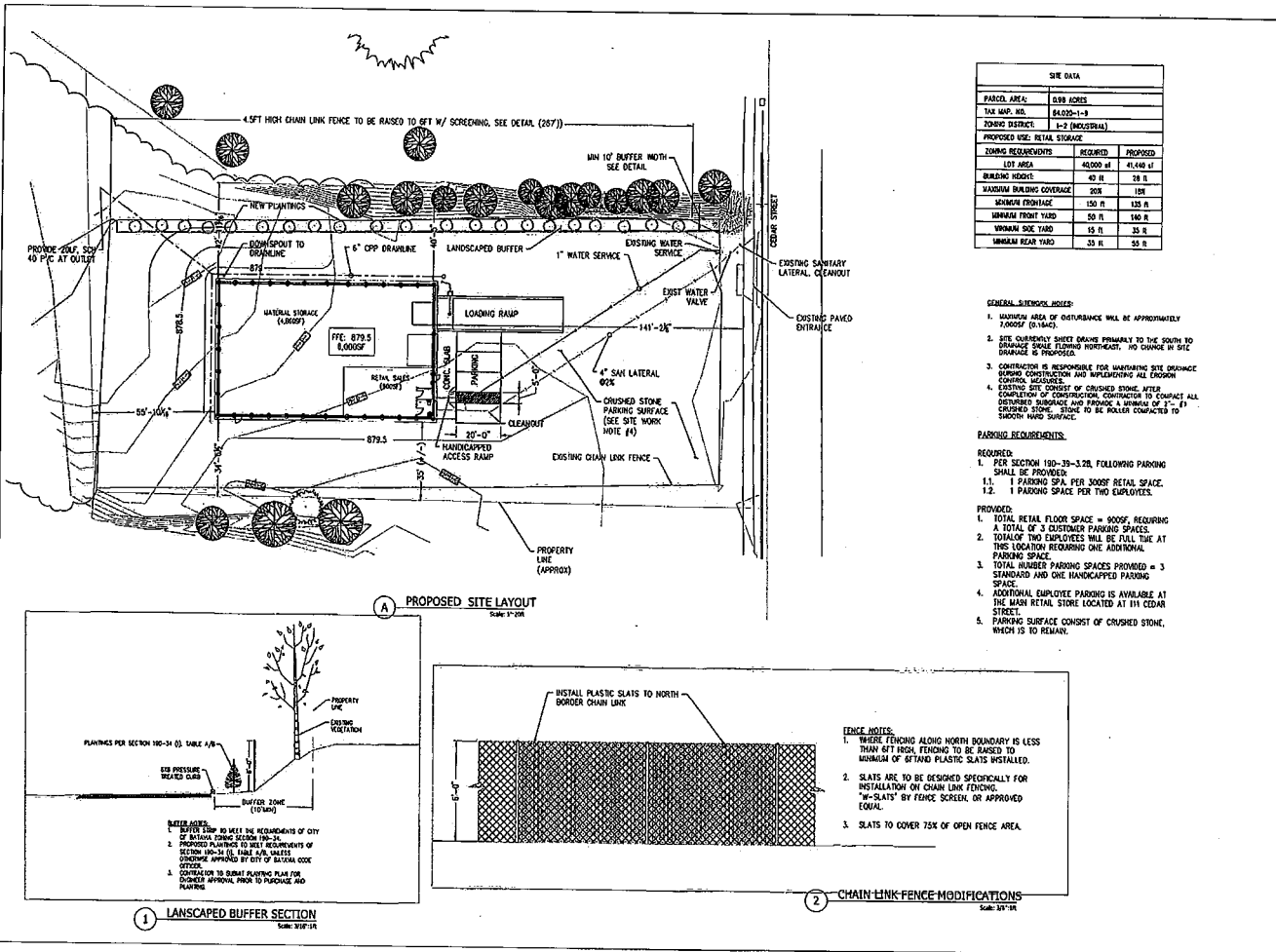
NO.	DATE	REVISION
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7		
8		
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**ANDREW SCHMEDER, P.E.**  
 11142 ALUMBERG ROAD, FT. VALLEY, IN 47615  
 (317) 827-0322

**EXISTING SITE LAYOUT**  
 PREPARED BY: ANDREW SCHMEDER, P.E.  
 STORAGE/RETAIL BUILDING  
 11142 ALUMBERG ROAD, FT. VALLEY, IN 47615  
 CEDAR STREET SALES  
 101 CEDAR STREET, BLOOMING, IN 47420

PROJECT NO.	DATE	SCALE	SHEET NO.
005-2019	ADS	4-15-19	1 OF 15
DATE	SCALE	SHEET NO.	ADS
4-15-19	4-15-19	C-1	ADS
DATE	SCALE	SHEET NO.	ADS
4-15-19	4-15-19	C-1	ADS



SITE DATA		
PARCEL AREA:	899 ACRES	
TAX MAP NO.	84200-1-8	
ZONING DISTRICT:	I-2 (INDUSTRIAL)	
PROPOSED USE: RETAIL STORAGE		
LANDING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	42000 sq ft	41,440 sq ft
BUILDING HEIGHT	40 ft	28 ft
MAXIMUM BUILDING COVERAGE	20%	15%
MINIMUM FRONT YARD	50 ft	135 ft
MINIMUM SIDE YARD	15 ft	35 ft
MINIMUM REAR YARD	35 ft	50 ft

- GENERAL SITEWORK NOTES:**
1. MINIMUM AREA OF DISTURBANCE WILL BE APPROXIMATELY 7,000SF (0.16AC).
  2. NEW CURB/PAVEMENT SHALL BE PLACED PRIMARILY TO THE SOUTH TO SURFACE SINGLE FLOORING PORTLAND CEMENT CONCRETE IS PROPOSED.
  3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SITE DRAINAGE DURING CONSTRUCTION AND IMPLEMENTING ALL EROSION CONTROL MEASURES.
  4. EXISTING SITE CONSIST OF CRUSHED STONE. AFTER COMPLETION OF CONSTRUCTION, CONTRACTOR TO CONTACT ALL DISTURBED SURFACE AND PROVIDE A MINIMUM OF 1" #1 CRUSHED STONE. STONE TO BE POLICE COMPACTED TO FINISH FLOOR SURFACE.

- PARKING REQUIREMENTS:**
- REQUIRED:**
1. PER SECTION 160-20-3.2(b), FOLLOWING PARKING SHALL BE PROVIDED:
    - 1.1. 1 PARKING SPA. PER 3000 SF RETAIL SPACE.
    - 1.2. 1 PARKING SPACE PER TWO EMPLOYEES.
- PROVIDED:**
1. TOTAL RETAIL FLOOR SPACE = 9000 SF, REQUIRING A TOTAL OF 3 CUSTOMER PARKING SPACES.
  2. TOTAL OF TWO EMPLOYEES WILL BE FULL TIME AT THIS LOCATION REQUIRING ONE ADDITIONAL PARKING SPACE.
  3. TOTAL NUMBER PARKING SPACES PROVIDED = 3 STANDARD AND ONE HANDICAPPED PARKING SPACE.
  4. ADDITIONAL EMPLOYEE PARKING IS AVAILABLE AT THE MAIN RETAIL STORE LOCATED AT 111 CEDAR STREET.
  5. PARKING SURFACE CONSIST OF CRUSHED STONE, WHICH IS TO REMAIN.

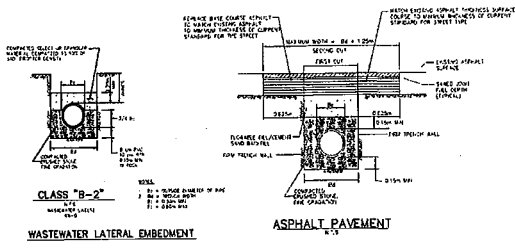
PROPOSED SITE LAYOUT  
STORAGE/RETAIL BUILDING  
111 CEDAR ST. BAHAM, NY  
CEDAR STREET SALES  
111 CEDAR STREET BAHAM, NY

PROJECT NO: 605-2011  
DATE: 4-28-19  
SCALE: AS NOTED  
SHEET NO: 5-2

PROJ. MGR: ADS  
DATE: ADS  
DATE: ADS

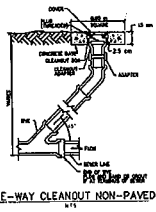
PROJECT NO: 605-2011  
DATE: 4-28-19  
SCALE: AS NOTED  
SHEET NO: 5-2

PROJ. MGR: ADS  
DATE: ADS  
DATE: ADS

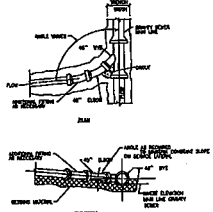


**CLASS "B-2"**  
 4" CONCRETE  
 2" SAND  
 1" GRAVEL

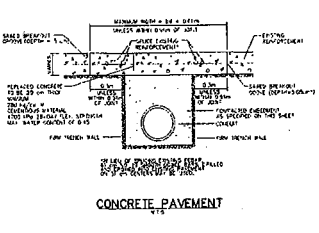
**WASTEWATER LATERAL EMBEDMENT**



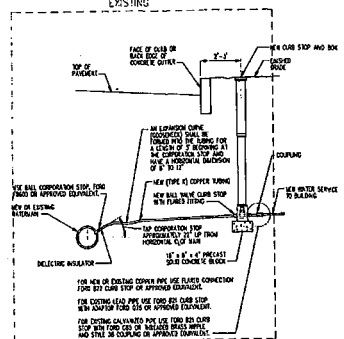
**WASTEWATER CLEANOUT**



**LATERAL SERVICE CONNECTION**

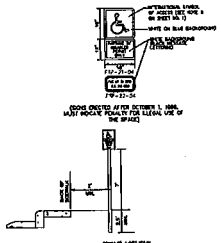


**CONCRETE PAVEMENT**

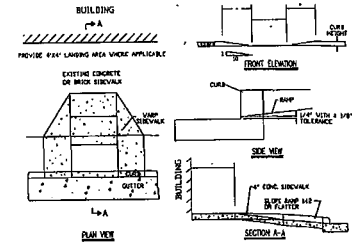


- NOTES**
1. THE SERVICE IS TO HAVE A MINIMUM COVER DEPTH OF 4 FEET 8 INCHES
  2. USE A BRASS TAPPING MACHINE WHEN REQUIRED
  3. THE SERVICE IS TO BE MADE ON SIDE OF MAIN FACING CUSTOMER
  4. THE SERVICE IS TO RUN PERPENDICULAR TO THE MAIN
  5. ADD A CURB BOX AND BRACE TO CURB BOX FOR SERVICES LARGER THAN 1 1/2 INCH
  6. FORD, HULLER AND ASSOCIATES ARE APPROVED MANUFACTURERS FOR CONNECTION BOXES, CURB BOXES AND COUPLERS. SEE CURRENT APPROVED PROVIDER LIST AS SUPPLIED BY THESE FIRMS.

**NEW WATER SERVICE 3/4" TO 2"**  
 NOT TO SCALE



**B HANDICAPPED PARKING SIGN**  
 SCALE: 3/4\"/>



- NOTES**
1. HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE CODES AND SPECIFICATIONS.
  2. SURFACES SHALL MEET THE GUIDELINES OF THE ADA STANDARDS FOR ACCESSIBILITY, APPROPRIATE PARTS.
  3. WHERE THE RAMP IS FINISH WITH SIDE OF CURB, SELECT FINISHES OF CONCRETE SIDEWALK AND SIDEWALK TO CURB AND SIDEWALK TO CURB AND SIDEWALK TO CURB SHALL BE THE SAME AS THE SIDEWALK.
  4. THE FINISH SURFACE MUST HAVE A MIN. SLOPE OF THE RAMP IS LESS THAN 4%, THE SLOPE OF THE FLARED SIDES SHALL NOT EXCEED 5%.

**A HANDICAPPED RAMP DETAIL**  
 SCALE: 3/4\"/>

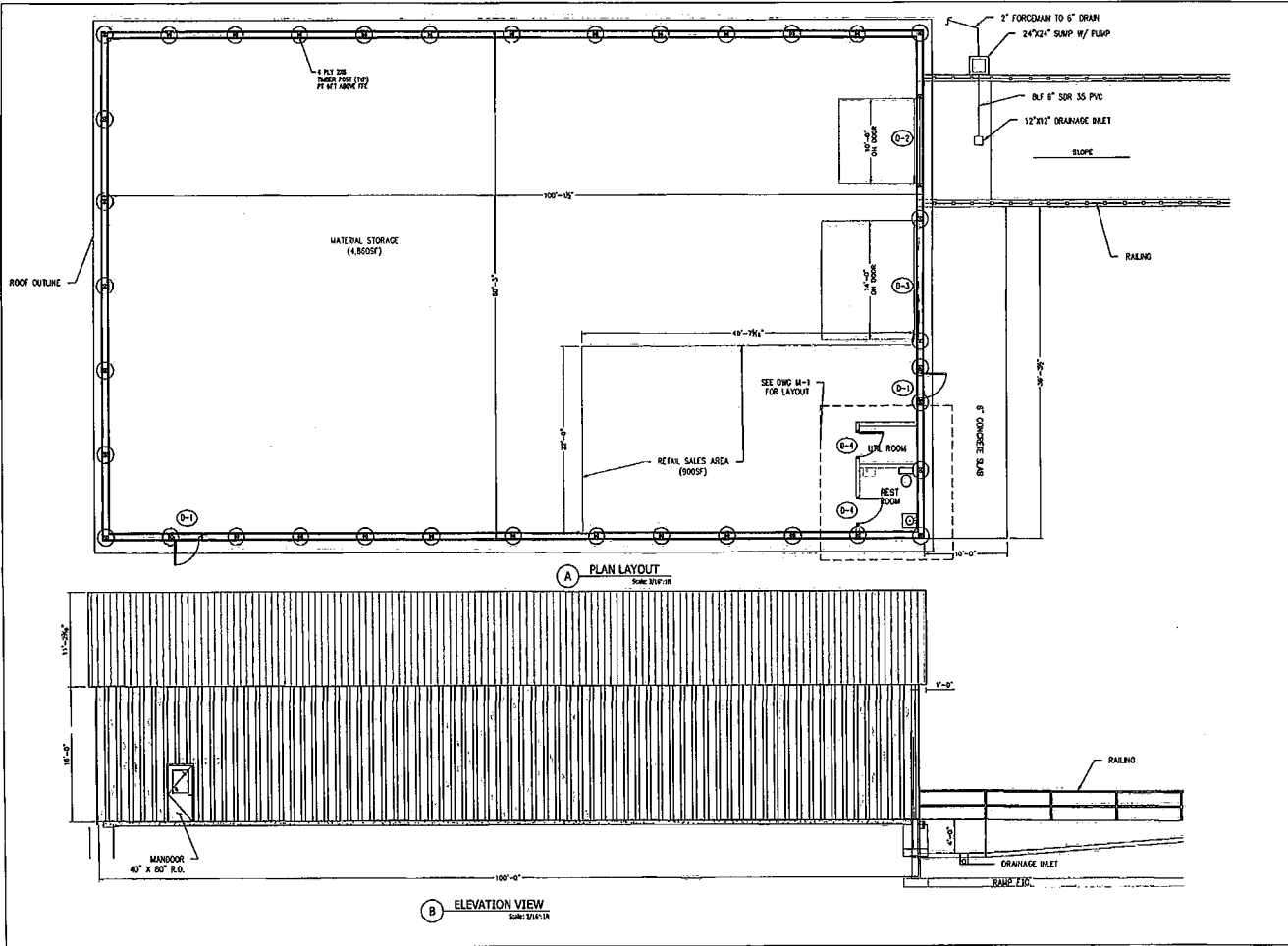
DATE	DESCRIPTION



**ANDREW SCHIEDERPE**  
 11142 ALEXANDER ROAD, JERICHO, NY  
 (516) 297-3502

**SITE DETAILS**  
 PROJECT: STORAGE / RETAIL BUILDING  
 111 CHASE ST. BAYVIEW, NY  
 CLIENT: CEDAR STREET SALES  
 10 CEDAR STREET, BAYVIEW, NY

PROJECT NO:	005-2019	PROJ. NO.:	ADS
DATE:	4-23-19	DATE:	ADS
SCALE:	AS NOTED	SCALE:	ADS
DRAWING NO.:	C-3	DRAWING NO.:	ADS
SHEET NO.:	6	SHEET NO.:	16



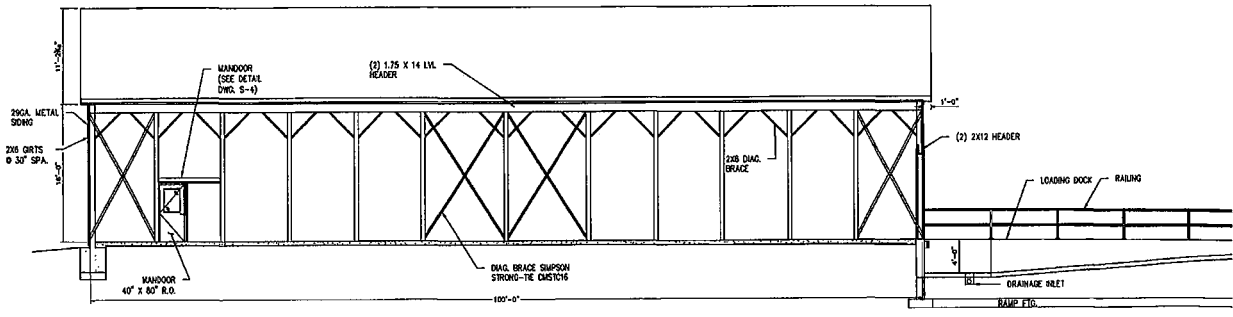
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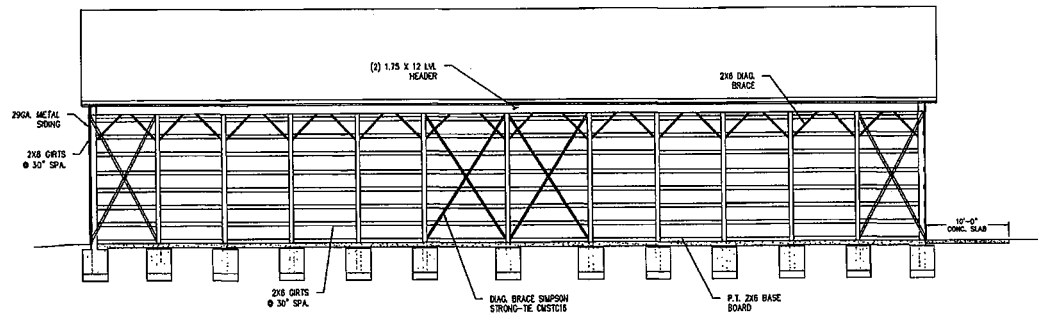
**ANDREW SCHMIEDER, PE**  
 11142 ALVARADO ROAD, STE. 101, NY  
 (949) 297-3522

**BUILDING LAYOUT**  
**STORAGE/RETAIL BUILDING**  
 11142 ALVARADO ROAD, STE. 101, NY  
 CEDAR STREET SALES  
 101 CEDAR STREET, DANBURY, CT

PROJECT NO.	055-2018	DATE	4-3-19
DATE	4-3-19	BY	AS NOTED
DATE	AS NOTED	BY	AS NOTED
DATE	7	BY	16



**(A) BUILDING SECTION**  
Scale: 1/8"=1'-0"



**(B) SIDE WALL FRAMING**  
Scale: 3/8"=1'-0"

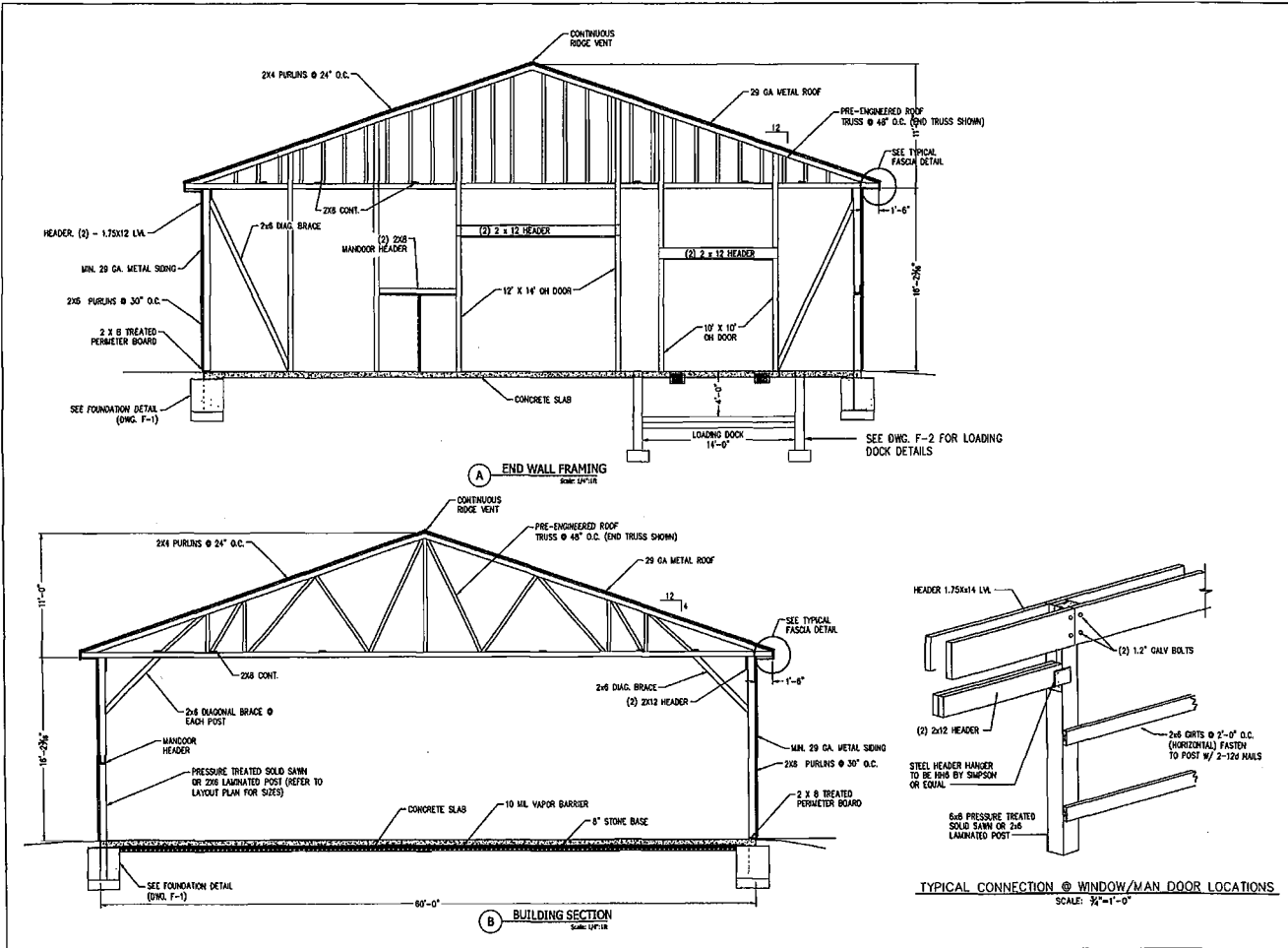
NO.	DATE	BY	CHKD.	DESCRIPTION
1				
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**ANDREW SCHMIEDER, PE**  
11142 ALGAMBER ROAD, ATTICA, NY  
(585) 297-2552

PROJECT NO. 005-2019  
DATE 4-3-19  
SCALE AS NOTED  
DRAWING NO. S-2  
SHEET NO. 8 OF 16

PROJECT: EAST / WEST WALL FRAMING  
PROJECT NAME: STORAGE / RETAIL BUILDING  
PROJECT LOCATION: 111 ALGAMBER ST., ATTICA, NY  
CLIENT: CEDAR STREET SALES  
101 CEDAR STREET, ATTICA, NY



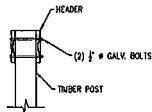
DATE	BY	CHECKED	APPROVED



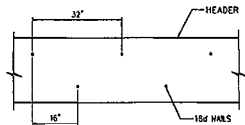
**ANDREW SCHIMIEDER, P.E.**  
 11142 ALEXANDER ROAD, ATTICA, NY  
 (585) 297-3552

**ELEVATION/SECTION**  
 PROJECT NAME: STORAGE / METAL BUILDING  
 1700 W. WASHINGTON ST., ATTICA, NY  
 CLIENT: CHRYSLER FINANCIAL SERVICES

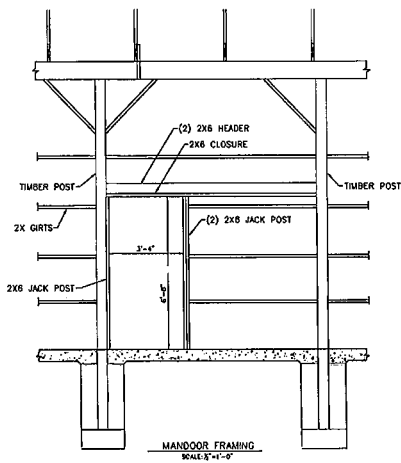
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SCALE	AS NOTED	DATE	4-5-19
ISSUED BY	S-3	DATE	
SHEET NO.	9	TOTAL SHEETS	16



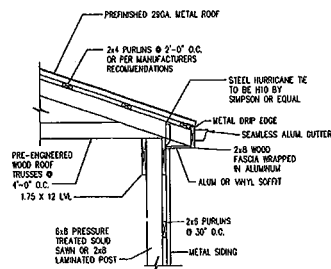
HEADER CONNECTION DETAIL  
SCALE: 3/4"=1'-0"



TYPICAL HEADER NAIL PATTERN  
SCALE: N.T.S.



MANDOOR FRAMING  
SCALE: 3/4"=1'-0"



TYPICAL FASCIA DETAIL  
SCALE: 3/4"=1'-0"

NO.	DATE	DESCRIPTION
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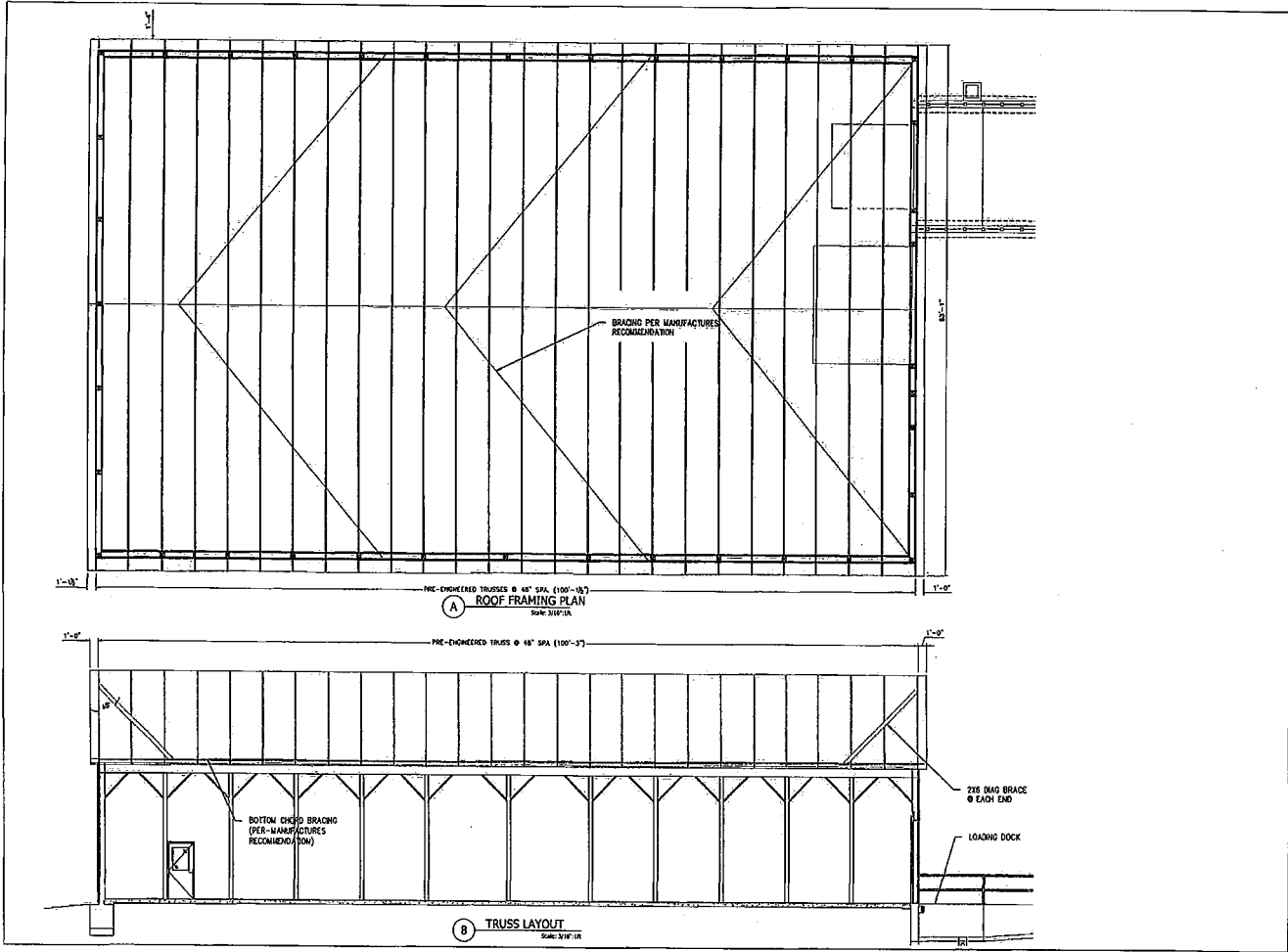


ANDREW SCHMEDER, PE  
11142 ALEXANDER ROAD, UTICA, NY  
(518) 217-3524

STRUCTURAL DETAILS  
STORAGE / RETAIL BUILDING  
111 CLARK ST. UTICA, NY  
CEDAR STREET SALES  
10 CHASE STREET, UTICA, NY

PROJECT NO.	REV
005-2019	ADD
DATE	ISSUE BY
4-3-19	ADD
SCALE	DATE
AS NOTED	ADD
ISSUED FOR	SCALE
S-4	
SHEET NO.	OF
10	15





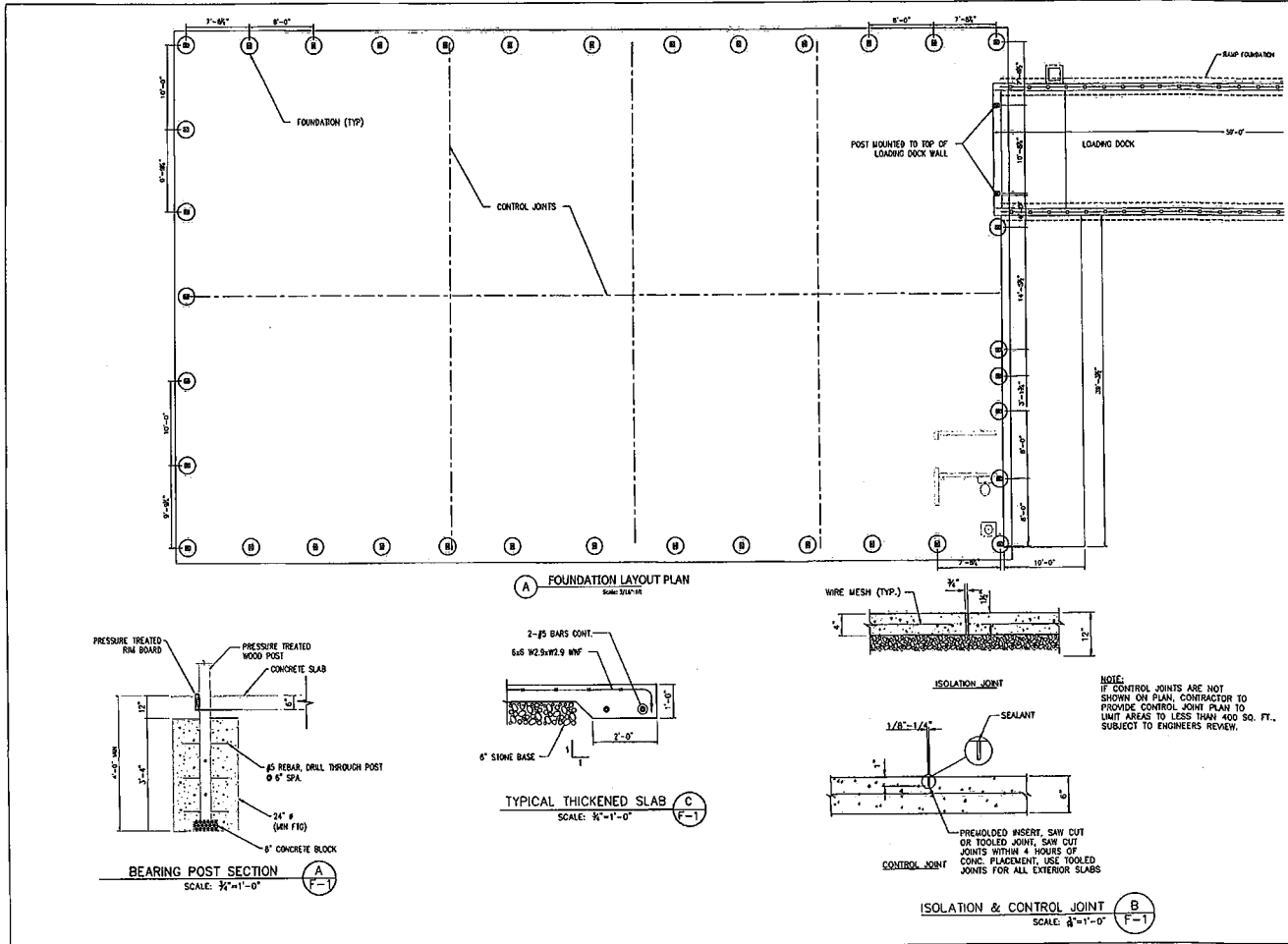
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PROJECT NAME		DRAWN BY		CHECKED BY	
STORAGE / RETAIL BUILDING		ADS		ADS	
LOCATION		SHEET NO.		TOTAL SHEETS	
CEDAR STREET SALES		11		18	
100 WEST STREET, SUITE 200, NEW YORK, NY 10038		11		18	



**ANDREW SCHIEDER, PE**  
 11142 SACANDER ROAD, ATTONA, NY  
 (518) 797-8552

**ROOF FRAMING PLAN**  
 STORAGE / RETAIL BUILDING  
 100 WEST STREET, SUITE 200, NEW YORK, NY  
 CEDAR STREET SALES  
 100 WEST STREET, SUITE 200, NEW YORK, NY

PROJECT NO.	005-2019	TOTAL SHEETS	18
DATE	8-3-19	DRAWN BY	ADS
SCALE	AS NOTED	CHECKED BY	ADS
REVISIONS	5-5		
SHEET NO.	11		



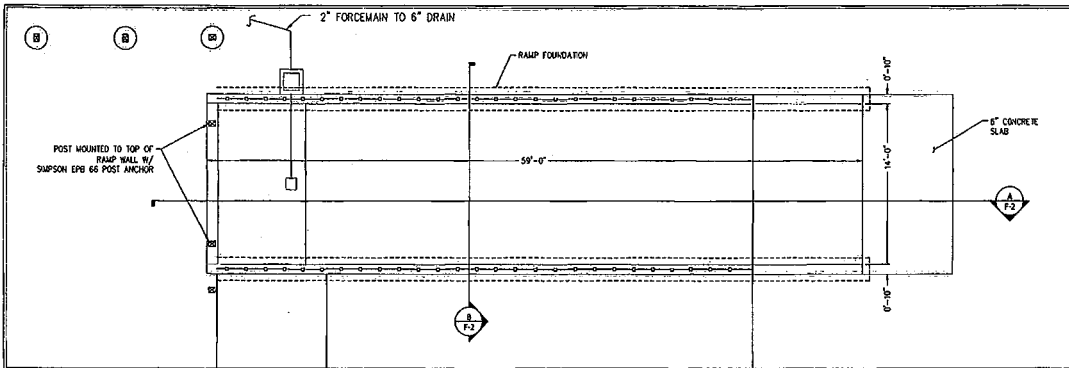
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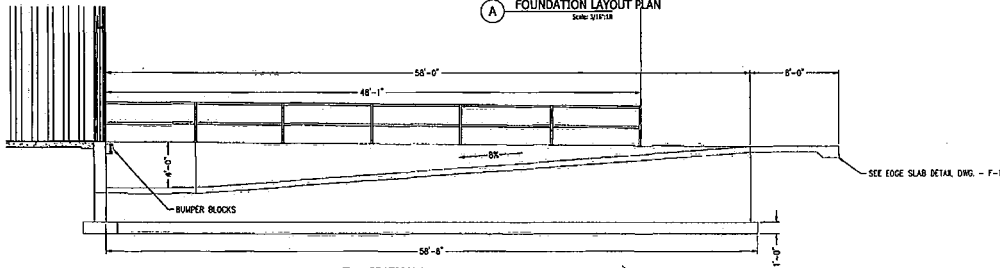
**ANDREW SCHMEDEK, P.E.**  
11142 ALDAMES ROAD, ATICA, NY  
6083 297-3352

PROJECT NO: 005-2010  
DATE: 4-3-19  
SCALE: AS NOTED  
DRAWING NO: F-1  
SHEET NO: 12

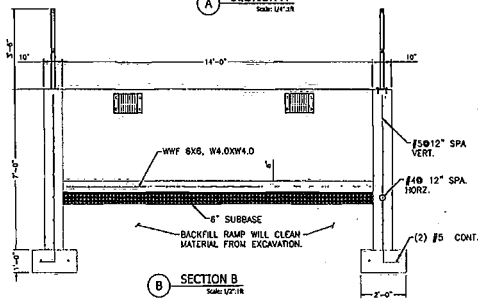
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DATE:	4-3-19	ADD
SCALE:	AS NOTED	PREP BY:
DRAWING NO:	F-1	CHK BY:
SHEET NO:	12	OF 18



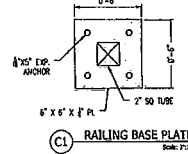
**(A) FOUNDATION LAYOUT PLAN**  
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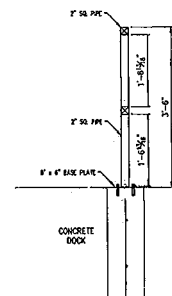
**(A) SECTION A**  
Scale: 1/8"=1'-0"



**(B) SECTION B**  
Scale: 1/8"=1'-0"



**(C) RAILING BASE PLATE**  
Scale: 1/2"=1'-0"



**(C) RAILING DETAIL**  
Scale: 1/2"=1'-0"

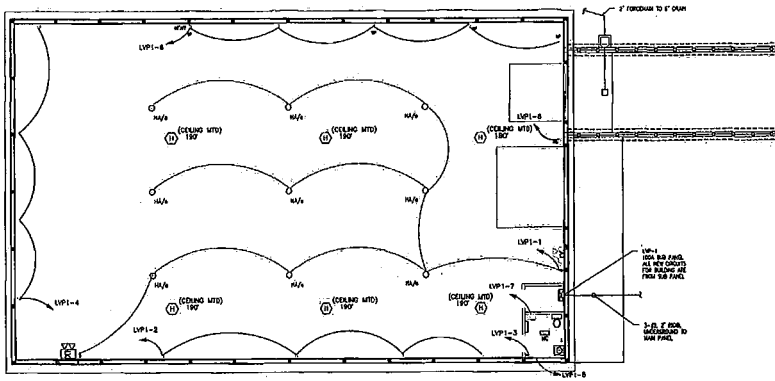
PROJECT NO.	005-2018	DATE	4-3-19
DIST.	4-3-19	SCALE	AS NOTED
REV.	F-2	DATE	
BY		CHK	
APP		DATE	



**ANDREW SCHMIEDER, PE**  
11142 ALEXANDER ROAD, ATICA, NY  
(516) 237-3552

**LOADING DOCK DETAILS**  
STORAGE / RETAIL BUILDING  
10 CORN ST., BATAVIA, NY  
CEDAR STREET SALES  
10 CORN STREET, BATAVIA, NY

PROJECT NO.	005-2018	DATE	4-3-19
DIST.	4-3-19	SCALE	AS NOTED
REV.	F-2	DATE	
BY		CHK	
APP		DATE	



(A) ELECTRICAL PLAN  
Scale: 1/8" = 1'-0"

**ELECTRICAL NOTES:**

1. INSTALL ALL WIRING AND EQUIPMENT IN ACCORDANCE WITH THE NFPA 70, NFPA 110 AND THE NFPA 117 2018 NATIONAL ELECTRICAL CODE.
2. OBTAIN ALL NECESSARY PERMITS UPON SUBSTANTIAL COMPLETION.
3. COORDINATE ALL WORK WITH OTHER TRADES.
4. WIRE SHALL BE STRANDED COPPER WITH 75%/90% INSULATION, MINIMUM #12 AWG.
5. CONCEALED CONDUIT SHALL BE EMT WITH SET SCREW FITTINGS.
6. EXPOSED CONDUIT SHALL BE RIGID STEEL WITH THREADED FITTINGS, TYPE MC CABLE WITH A SEPARATE INSULATED GROUND IS PERMITTED. SUPPORT CABLE OR MINIMUM 4.5" CENTER.
7. ALL WIRING TO PANELBOARDS SHALL BE INSTALLED IN RIGID CONDUIT. TYPE MC CABLE MAY BE USED FROM OUTLET BOXES IN THE CEILING TO DEVICES AND LUMINAIRES, AND MAY BE RUN HORIZONTALLY IN THE METAL STUD PARTITIONS.
8. WIRING DEVICES SHALL BE SPECIFICATION GRADE, THERMOPLASTIC COVERABLES. HATKES SHALL BE HUBBELL OR EQUAL.
9. WEATHER RESISTANT DEVICE COVERS SHALL BE UL LISTED WITH THE DEVICE PLUGGED IN. MORE SHALL BE HUBBELL OR EQUAL.
10. PANELBOARDS SHALL HAVE ALUMINUM BUS WITH PULL-OUT CIRCUIT BREAKERS AND SURFACE MOUNTED. MARK SHALL BE SQUARE D OR EQUAL.
11. ELECTRICAL SERVICE TO BE FROM EXISTING PANELBOARD LOCATED IN EXISTING SERVICE BUILDING. ELECTRICAL SERVICE TO BE PLACED BELOW GROUND IN PVC CONDUIT.
12. CIRCUIT AND CABLE SHALL BE RUN PARALLEL TO PERPENDICULAR TO WALLS AND CEILING AND SHALL BE SECURELY RIGIDLY SUPPORTED FROM THE BRACING STRUCTURE FOR MINIMUM CLEARANCE FROM OTHER BUILDING STRUCTURES.
13. ALL ELECTRICAL WORK IN FINISHED AREAS SHALL BE RUN CONCEALED WITH ALL RECEPTACLE, SWITCHES, DEVICES AND JUNCTION BOXES INSTALLED FLUSH.
14. ALL SWITCHES AND DEVICES SHALL BE OPERATED FOR A MINIMUM OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
15. LIGHTING AND RECEPTACLE LOADS ARE NOT TO BE CONNECTED TO THE SAME CIRCUIT.
16. CONTACT ALL CIRCUITS SO THAT THE LOAD ON ANY CIRCUIT DOES NOT EXCEED 80% OF THE RATING OF THE CIRCUIT FOR THE INSTALLED ELECTRICAL CODE.
17. ALL DEVICES TO BE CONNECTED TO THE ALARM CONTROL PANEL MUST BE IN A RATED ENCLOSURE TO PROTECT THE DEVICES FROM THE FIRE ALARM SYSTEM FROM FIRE DAMAGE AND VIBRATION.
18. REFER TO DWG. E-3 FOR PANELBOARD SCHEDULE.

LUMINAIRE SCHEDULE					
TYPE	DESCRIPTION	LUMENS	LAMPS	VOLTAGE	ACCEPTABLE MANUFACTURER
HA	BULBZARD ECT-100W LED HIGH BAY LUMINAIRE BY INDUSTRIAL LIGHTING SYSTEMS, UL LISTED FOR DAMP LOCATIONS.	12,166	LED	120	APPROVED EQUAL
HC	RECESSED LIGHTING FIXTURE, LITHONIA 689MM LED, 6" DIA, 725 LUMENS	12.7	LED	120	APPROVED EQUAL
EM/X1	TLC LED EMERGENCY LIGHT (TLC2-B-10VS), BY EVERLITE	125	LED	120	HUBBELL/APPROVED EQUAL

MISCELLANEOUS LEGEND		ELECTRICAL LIGHTING LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
①	REFERENCE TO DRAWING NOTE	§	SINGLE POLE SWITCH
⚠	REVISION NOTE	cta	DOWNLIGHT, DESIGNATION REFERS TO LUMINAIRE SCHEDULE
<b>ELECTRICAL POWER LEGEND</b>		Ⓢ	PHOTOCELL, NUMBER INDICATES TYPE
SYMBOL	DESCRIPTION	EM	EMERGENCY LIGHT
Ⓢ	DUPLEX RECEPTACLE, SUBSCRIPTED AS FOLLOWS: AT1 ARC FAULT INTERRUPTER OR CORROSION RESISTANT LP EXPLOSION PROOF GI GROUND FAULT INTERRUPTER ND NEUTRAL PIG IG ISOLATED GROUND SS SURGE SUPPRESSION W WEATHERPROOF	Ⓢ	HEAT DETECTOR
Ⓢ	INDICATES 20A BRANCH CIRCUIT CONNECTION FROM PANEL LPI, CIRCUIT # TO FUTURES OR DEVICES. PROVIDE 2-#12-#12G IN BRACING, USE 1/2" USE BRANCH CIRCUITS PER NEC ARE ALLOWABLE.	<b>POWER DISTRIBUTION LEGEND</b>	
LPI-1	INDICATES NEW DEVICE OR EQUIPMENT	—	SURFACE MOUNTED BRANCH CIRCUIT PANELBOARD, 200V/120V OR 240/120V, REFER TO PANEL BOARD SCHEDULE

PROJECT NO.	005-2019
DATE	4-25-19
SCALE	AS NOTED
DRAWING NO.	E-1
SHEET NO.	14
TOTAL SHEETS	15

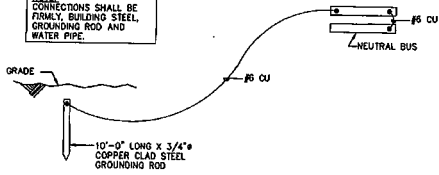


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**ELECTRICAL PLAN**  
STORAGE/RETAIL BUILDING  
11142 ALDAMBER ROAD, ATTICA, NY  
CEDAR STREET SALES  
10000 WOODLAND DRIVE, BARTON, NY

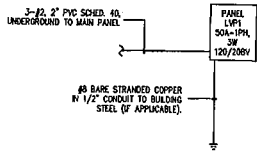
PROJECT NO.	005-2019	PREP. VCS	ADS
DATE	4-25-19	CHECK BY	ADS
SCALE	AS NOTED	DATE	ADS
DRAWING NO.	E-1		
SHEET NO.	14		
TOTAL SHEETS	15		

NOTE:  
CORRECTIONS SHALL BE  
FIRMLY BUILDING STEEL,  
GROUNDING ROD AND  
WATER PIPE.

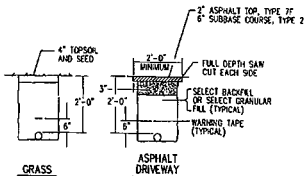


GROUNDING SYSTEM DETAIL 3  
SCALE: NTS  
E-2

PANEL LVPI											
MAIN CIRCUIT BREAKER: 100A MCB				PROJECT NAME: CEDAR STREET RETALS							
MAIN BUS: 100A				FED FROM: STREET							
VOLTAGE: 208Y/120V 1PH-3W				LOCATION: SURFACE							
MAXIMUM AVAILABLE SHORT CKT. CURRENT: 22 KAC				MOUNTING: SURFACE							
LOCATION	LOAD W	BOB	CKT	BUS	CKT	BRK	LOAD W	LOCATION			
INTERIOR LIGHT	450	1	20	1	2	20	1	RECEPTACLE			
INTERIOR LIGHT	450	1	20	3	4	20	1	RECEPTACLE			
EXTERIOR LIGHT	150	1	20	5	6	20	1	RECEPTACLE			
ELECTRIC WATER HEATER	1500	1	20	7	8	20	1	ELECTRIC SPACE HEATER			
SPARE	1500	1	20	9	10	20	1	SPARE			
SPARE	1500	1	20	11	12	20	1	SPARE			
PHASE LOAD								PHASE LOAD			
MAX. PHASE CURRENT:	0A							TOTAL CONNECTED LOAD	: KW		
									NOTES: *PROVIDE GFC BREAKER ** PROVIDE LOCK-ON CIRCUIT BREAKER		



POWER RISER DIAGRAM 4  
SCALE: NTS  
E-2



CONDUIT TRENCH INSTALLATION  
NOT TO SCALE

**ELECTRICAL NOTES:**

- ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE-NEW OF THE LATEST REVISION AND ALL OTHER APPLICABLE CODES, RULES AND REGULATIONS. ANY LABOR, MATERIALS AND EQUIPMENT NECESSARY DUE TO NON-COMFORMANCE WITH THE ABOVE SHALL BE FURNISHED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL LIGHTING FIXTURES SHALL BE COMPLETELY LAMPED AND OPERABLE.
- ALL EQUIPMENT SHALL BE U.L. LISTED AND LABELED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS FEES AND INSPECTIONS. BEFORE WORK IS APPLIED, THE CONTRACTOR SHALL OBTAIN APPROVAL OF ALL REGULATORY AGENCIES: HAVING JURISDICTION AND SHALL FURNISH WRITTEN PROOF OF SAME TO OWNER.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTRACTS AND COORDINATION WITH ELECTRIC COMPANY. ANY AND ALL FEES REQUIRED BY THE OF ELECTRIC COMPANY SHALL BE BORNE BY THE CONTRACTOR.
- LOCATIONS OF EQUIPMENT SHOWN ON THE DRAWINGS SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION WITH THE OWNER/PROJECT IN THE FIELD PRIOR TO INSTALLATION OF THE EQUIPMENT OR WORK.
- CONDUIT SHALL BE RIGID GALVANIZED STEEL (PVC COATED) WITH SEALED JOINTS WHERE INSTALLED UNDERGROUND OR UNDER THE SLAB. CONDUIT IN OTHER UNFINISHED AREAS MAY BE MET WHERE PERMITTED BY CODE.
- CONDUIT AND CABLE SHALL BE RUN PARALLEL OR PERPENDICULAR TO BUILDING STRUCTURES AND SHALL BE SECURELY HUNG OR SUPPORTED FROM THE BUILDING STRUCTURE WITH MAXIMUM CLEARANCE ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL WORK IN FINISHED AREAS SHALL BE RUN CONCEALED WITH ALL RECEPTACLES, SWITCHES, SOCKETS AND JUNCTION BOXES INSTALLED FLUSH.
- FINISH AND METAL STEEL SLEEVES WITH RESILIENT SEAL FOR ALL FOUNDATION WALL AND FOOTING PENETRATIONS.

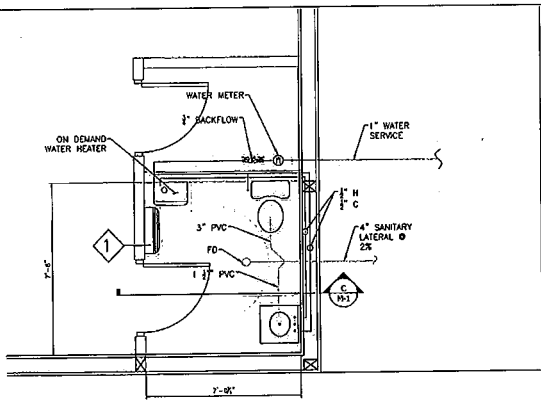
DATE	BY	APPROVED



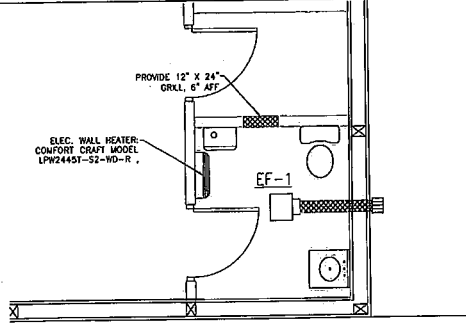
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ELECTRICAL DETAILS  
PROJECT: STORAGE/RETAIL BUILDING  
11142 ALEXANDER ROAD, ATICA, NY  
CEDAR STREET SALES  
100 CEDAR STREET, BATAVIA, NY

PROJECT NO:	005-2019	SHEET NO:	ADS
DATE:	6-17-19	DATE:	ADS
SCALE:	AS NOTED	DATE:	ADS
DRAWING NO:	E-2		
SHEET NO:	15	OF 16	



**A PLUMBING LAYOUT**  
Scale: 1/2" = 1'-0"



**B MECHANICAL LAYOUT**  
Scale: 1/2" = 1'-0"

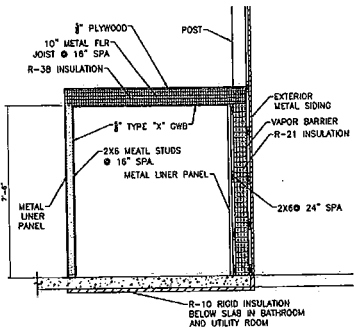
NO.	DESCRIPTION	REMARKS
1	HAND / HAIR DRYER	NOT REQUIRED
2	SOAP DISPENSER	
4A	PAPER TOWEL DISPENSER / WASTE RECEPTACLE (BY OWNER)	
5	TOILET TISSUE DISPENSER	
7	MIRROR	
7A	40"x30" MIRROR - HC	40" MAX MOUNTING HEIGHT
8	GRAB BAR - TOILET 30"	
8A	GRAB BAR - TOILET 42"	

EXHAUST FAN SCHEDULE										
NUMBER	DRIVE	SERVICE	CFM	ELECTRICAL			MAKE/ MODEL	NOTES		
				SP	PH	WATTS				
EF-1	DIRECT	DRESSING ROOM	110	.10	250	115	1	80W	GREENHECK SP-B110	1-2

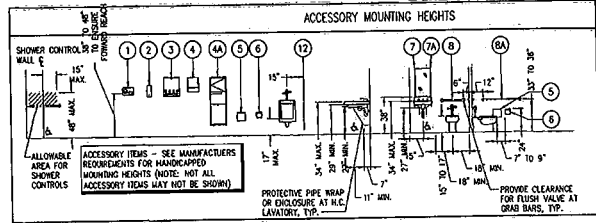
- NOTES:  
 1. FURNISH COMPLETE WITH GREENHECK PVC WALL CAP  
 2. INTERLOCK FAN OPERATION WITH LIGHTING CONTROL  
 3. INTERLOCK FAN OPERATION WITH WALL MOUNTED THERMOSTAT

ELECTRIC WALL HEATER							
NUMBER	SUPPLY AIR (CFM)	WATTS	AMPS	ELECTRICAL		MAKE/MODEL	NOTES
				VOLTS	PH		
EH-1	185	3,500	9.4-18.8	208	1	60 COMFORT CRAFT MODEL LPW4451-S2-WD-R	1

- NOTES:  
 1. FURNISH COMPLETE WITH LOW AMBIENT KIT  
 2. PROVIDE 6" (MIN) CONCRETE PAD FOR CONDENSER



**C BATHROOM FRAMING**  
Scale: 1/2" = 1'-0"



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



**ANDREW SCHMEDERS, PE**  
 11142 ALEXANDER ROAD, ATICA, NY  
 (516) 297-3352

**MECH/PLUMBING PLAN**  
 PROJECT: STORE/RETAIL BUILDING  
 10 CEDAR STREET, ATICA, NY  
 14804

PROJECT NO:	005-2019	DATE:	4-15-19
SCALE:	AS NOTED	DRAWN BY:	ADS
DESIGNED BY:	M-1	CHECKED BY:	ADS
SHEET NO:	18	TOTAL SHEETS:	15